



City of Santa Fe Springs

Planning Commission Meeting

AGENDA

FOR THE REGULAR MEETING OF THE PLANNING COMMISSION

January 13, 2020

6:00 p.m.

**Council Chambers
11710 Telegraph Road
Santa Fe Springs, CA 90670**

**Frank Ybarra, Chairperson
Ken Arnold, Vice Chairperson
Ralph Aranda, Chairperson
Francis Carbajal, Commissioner
Gabriel Jimenez, Commissioner**

Public Comment: The public is encouraged to address the Commission on any matter listed on the agenda or on any other matter within its jurisdiction. If you wish to address the Commission, please complete the card that is provided at the rear entrance to the Council Chambers and hand the card to the Secretary or a member of staff. The Commission will hear public comment on items listed on the agenda during discussion of the matter and prior to a vote. The Commission will hear public comment on matters not listed on the agenda during the Oral Communications period.

Pursuant to provisions of the Brown Act, no action may be taken on a matter unless it is listed on the agenda or unless certain emergency or special circumstances exist. The Commission may direct staff to investigate and/or schedule certain matters for consideration at a future Commission meeting.

Americans with Disabilities Act: In compliance with the ADA, if you need special assistance to participate in a City meeting or other services offered by this City, please contact the City Clerk's Office. Notification of at least 48 hours prior to the meeting or time when services are needed will assist the City staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting or service.

Please Note: Staff reports are available for inspection in the Planning & Development Department, City Hall, 11710 E. Telegraph Road, during regular business hours 7:30 a.m. – 5:30 p.m., Monday – Friday (closed every other Friday) Telephone (562) 868-0511.

1. CALL TO ORDER**2. PLEDGE OF ALLEGIANCE****3. ROLL CALL**

Commissioners Aranda, Arnold, Carbajal, Jimenez, and Ybarra.

4. ORAL COMMUNICATIONS

This is the time for public comment on any matter that is not on today's agenda. Anyone wishing to speak on an agenda item is asked to please comment at the time the item is considered by the Planning Commission.

5. MINUTES

Approval of the minutes for the December 9, 2019 Planning Commission meeting

6. PUBLIC HEARING

Categorically Exempt - CEQA Guidelines Section 15301, Class 1

Conditional Use Permit Case No. 532-1

A request for a ten-year extension of and modification of Wireless Telecommunications 13700 aka 13648 Firestone Boulevard (APN: 7005-014-052) in the M-2-FOZ, Heavy Manufacturing-Freeway Overlay, Zone. (Crown Castle on behalf of T-Mobile)

7. PUBLIC HEARING

Categorically Exempt - CEQA Guidelines Section 15301, Class 1

Conditional Use Permit Case No. 541-3

A request for a ten-year extension of Wireless Telecommunications Facility Conditional Use Permit Case No. 541-3, an existing 71'-tall stealth wireless telecommunications facility located at 11015 Bloomfield Avenue (APN:8025-002-023) in the M-2, Heavy Manufacturing, Zone. (SBA Towers VIII, LLC)

8. PUBLIC HEARING

Categorically Exempt - CEQA Guidelines Section 15361(b)(3) – General Rule

Conditional Use Permit (CUP) Case No. 795

Zone Variance (ZV) Case No. 82

Zone Variance (ZV) Case No. 84-87

Development Agreement (DA) No. 01-2020

CUP Case No. 795: A request to allow the construction and operation of a new 50-foot tall V-shaped digital billboard with 14' x 48' display areas on the subject property, within the M-2 FOZ (Heavy Manufacturing – Freeway Overlay Zone) zone; and.

ZV Case No. 82: A request to allow the subject digital billboard to project over the roof of a building, contrary to Section 155.384 (E)(1) of the City's Zoning Ordinance; and

ZV Case No. 84: A request to allow the subject digital billboard to be located less than 25' from the front property line, contrary to Section 155.384 (H)(6) of the City's Zoning Ordinance; and

ZV Case No. 85: A request to allow the subject digital billboard to be located less than 25' from the side property line, contrary to Section 155.384 (H)(6) of the City's Zoning Ordinance; and

ZV Case No. 86: A request to allow the subject digital billboard to be located less than 25' from the adjacent building, contrary to Section 155.384 (H)(6) of the City's Zoning Ordinance; and

ZV Case No. 87: A request to allow the removal of an existing on-site tree, contrary to Section 155.384 (I)(3) of the City's Zoning Ordinance, in order to locate the subject digital billboard as currently prohibited.

DA No. 01-2020: A Development Agreement by and between the City of Santa Fe Springs and Becker Boards which would set forth the rules and regulations under which the proposed billboard would be allowed.

Applicant/Subject Property: Becker Boards/13539 Freeway Drive (APN: 8069-016-006)

9.

PUBLIC HEARING

Categorically Exempt - CEQA Guidelines Section 15301, Class 1, and Section 15303, Class 3

Amendment of Development Plan Approval (DPA) Case No. 847

Modification Permit (MOD) Case No. 1316

Modification Permit (MOD) Case No. 1320

ADPA Case No. 847: A request for approval to modify the existing development plan to allow the construction of a new solar carport, garage, and canopy on the subject property; and

MOD Case No. 1316: A request for approval to allow the proposed canopy support to encroach 8' into the required front yard setback along Pike Street; and

MOD Case No. 1320: A request for approval to replace a portion of the required landscape strip with grasscrete along Pike Street for two additional parking stalls.

The subject property is located at 9427 Norwalk Boulevard (APN: 8002-015-015), within the M-2, Heavy Manufacturing, Zone.

(Hani Abi Naked on behalf of True Design Cabinet Manufacturing)

10. PUBLIC HEARINGAdoption of Mitigated Negative DeclarationTentative Parcel Map (TPM) No. 82709Specific Plan Amendment Case No. 1Development Plan Approval (DPA) Case No. 964

TPM No. 82709 A request for approval to consolidate seven (7) existing parcels into a single parcel, measuring ±25.33-acres (APN: 8167-002-025, 026, 030, 050, 051, 052, and 053)

Specific Plan Amendment Case No. 1: A request for approval to amend the WDI Specific Plan to allow for large truck access to the project site along Los Nietos Road; allow for direct line of sight to the adjacent school property; and prohibited separate leases for the open yard area.

DPA Case No. 964: A request for approval to construct a new 216,500 square foot industrial building located at 9883 Greenleaf Avenue, which comprised of seven (7) existing parcels, measuring ±25.33-acres (APN: 8167-002-025, 026, 030, 050, 051, 052, and 053).

11. NEW BUSINESS – Continued from the December 9, 2019 Planning Commission MeetingCategorically Exempt – CEQA Guideline Section 15303, Class 3Modification Permit Case No. 1323

A request for a Modification of Property Development Standards to allow a porte cochere to be located within the required side yard setback area, on a property located at 10413 Gridley Avenue (APN: 8007-024-035), in the R-1, Single-Family Residential, Zone. (Jose Cardenas)

12. CONSENT ITEMS

Consent Agenda items are considered routine matters which may be enacted by one motion and roll call vote. Any item may be removed from the Consent Agenda and considered separately by the Planning Commission.

A. CONSENT ITEMConditional Use Permit Case No. 614-3

A compliance review to allow the continued maintenance and operation of a bleach production and chlorine repackaging facility at 11600 Pike Street (APN: 8002-013-013) within the M-2, Heavy Manufacturing, Zone.
(Olin Chlor Alkali Products)

13. PRESENTATION

A Presentation of 2019 Planning and Development Department Accomplishments

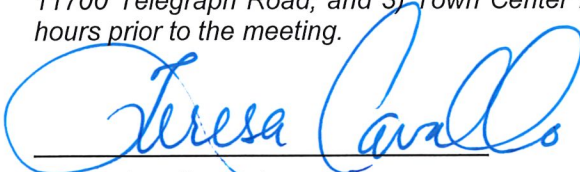
14. ANNOUNCEMENTS

- ♦ Commissioners
- ♦ Staff

15.

ADJOURNMENT

I hereby certify under penalty of perjury under the laws of the State of California, that the foregoing agenda has been posted at the following locations; 1) City Hall, 11710 Telegraph Road; 2) City Library, 11700 Telegraph Road; and 3) Town Center Plaza (Kiosk), 11740 Telegraph Road, not less than 72 hours prior to the meeting.



Planning Secretary

January 9, 2020

Date



City of Santa Fe Springs

Planning Commission Meeting

January 13, 2020

APPROVAL OF MINUTES

Minutes of the December 9, 2019 Planning Commission Meeting

RECOMMENDATION

- Approve the minutes as submitted.

BACKGROUND

Staff has prepared minutes for the following meeting:

- December 9, 2019

Staff hereby submits the minutes for Planning Commissioners' approval.

A handwritten signature in blue ink that reads "Wayne M. Morrell".

Wayne M. Morrell
Director of Planning

Attachment:

Minutes for December 9, 2019



APPROVED:

MINUTES OF THE REGULAR MEETING OF THE SANTA FE SPRINGS PLANNING COMMISSION

December 9, 2019

1. CALL TO ORDER

Commissioner Aranda called the meeting to order at 6:03 p.m.

2. PLEDGE OF ALLEGIANCE

Commissioner Aranda called upon Commissioner Carbajal to lead everyone in the Pledge of Allegiance.

3. ROLL CALL

Members present: Commissioner Aranda
Commissioner Carbajal
Commissioner Jimenez

Staff: Kathya M. Firlik, II City Attorney
Wayne Morrell, Director of Planning
Laurel Reimer, Planning Consultant
Teresa Cavallo, Planning Secretary
Claudia Jimenez, Planning Intern
Luis Collazo, Code Enforcement

Members absent: Chairperson Ybarra
Vice Chairperson Arnold

4. ORAL COMMUNICATIONS

None

5. MINUTES

Approval of the minutes for the November 19, 2019 Adjourned Planning Commission meeting

It was moved by Commissioner Jimenez, seconded by Commissioner Carbajal to approve the minutes as corrected, with the following vote:

Ayes: Aranda, Carbajal, and Jimenez
Nays: None
Absent: Arnold and Ybarra

PUBLIC HEARING

6. PUBLIC HEARING

Categorically Exempt - CEQA Guidelines Section 15301, Class 1

Conditional Use Permit Case No. 805

Recommendation: That the Planning Commission:

- Open the Public Hearing and receive any comments from the public regarding Conditional Use Permit Case No. 805 and thereafter, close the Public Hearing; and
- Find and determine that the proposed project will not be detrimental to persons or properties in the surrounding area or to the City in general, and will be in conformance with the overall purpose and objective of the Zoning Regulations and will be consistent with the goals, policies and programs of the City's General Plan; and
- Find that the applicant's CUP request meets the criteria set forth in §155.716 of the Zoning Regulations for the granting of a Conditional Use Permit; and
- Find and determine that pursuant to Section 15301, Class 1 (Existing Facilities) of the California Environmental Quality Act (CEQA), this project is Categorically Exempt; and
- Approve Conditional Use Permit Case No. 805, subject to the conditions of approval as contained within Resolution No. 146-2019; and
- Adopt Resolution No. 146-2019, which incorporates the Planning Commission's findings and actions regarding this matter.

Commissioner Aranda called upon Planning Intern Claudia Jimenez to present Item No. 6 before the Planning Commission.

Commissioner Aranda called upon the Commissioners for questions and/or comments. There being no questions or comments, Commissioner Aranda opened the Public Hearing at 6:15 p.m. and asked if anyone in the audience would like to comment on Item No. 6. There being no one wishing to speak and having no further questions, Commissioner Aranda closed the Public Hearing at 6:16 p.m. and requested a motion and second for Item No. 6.

It was moved by Commissioner Carbajal, seconded by Commissioner Jimenez to approve Conditional Use Permit Case No. 805, and the recommendations regarding this matter, which passed by the following roll call vote:

Ayes: Aranda, Carbajal, and Jimenez
Nayes: None
Absent: Arnold and Ybarra

City Attorney Kathya M. Firlik read the City's appeal process to inform the Planning Commission and public.

7. NEW BUSINESS

Categorically Exempt – CEQA Guideline Section 15303, Class 3

Modification Permit Case No. 1323

Recommendation: That the Planning Commission:

- Continue Modification Permit Case No. 1323 to the Planning Commission meeting of January 13, 2020.

Planning Commissioner Aranda notified the Planning Commissioners that he must recuse himself from making a decision on Item No. 7 when it comes before the Planning Commission for consideration on January 13, 2020.

Planning Commissioner Aranda asked if any of the Commissioners had any questions or comments. There being none, Planning Commissioner Aranda requested a motion and second to continue Item No. 7.

It was moved by Commissioner Jimenez, seconded by Commissioner Carbajal to continue Modification Permit Case No. 1323, and the recommendations regarding this matter, which passed by the following roll call vote:

Ayes: Aranda, Carbajal, and Jimenez

Nayes: None

Absent: Arnold and Ybarra

CONSENT ITEMS

8. CONSENT ITEMS

Consent Agenda items are considered routine matters which may be enacted by one motion and roll call vote. Any item may be removed from the Consent Agenda and considered separately by the Planning Commission.

A. CONSENT ITEM

Alcohol Sales Conditional Use Permit Case No. 19

Recommendation: That the Planning Commission:

That the Planning Commission, based on Staff's compliance review report, find that the subject use is in compliance with all of the conditions of approval and request that this matter be brought back before December 9, 2024, for another compliance review report. The Planning Commission shall note that this matter may be brought back to the Commission at any time should the applicant violate any conditions of approval or any City Codes, or should there be a need to modify, add, or remove a condition of approval.

B. CONSENT ITEM

Conditional Use Permit Case No. 700-3

Recommendation: That the Planning Commission:

- Find that the continued operation and maintenance of a recycling center use, if conducted in strict compliance with the conditions of approval, will continue to be harmonious with adjoining properties and surrounding uses in the area and will be in conformance with the overall purpose and objective of the Zoning Regulations and consistent with the goals, policies and program of the City's General Plan; and
- Require that Conditional Use Permit Case No. 700-3, be subject to a

compliance review in five (5) years, on or before December 9, 2024, to ensure that the recycling use is operating in strict compliance with the conditions of approval as stated within this staff report.

C. CONSENT ITEM

Conditional Use Permit Case No. 751-4

Recommendation: That the Planning Commission:

- Find and determine that the continued operation and maintenance of a digital billboard on the subject site, if conducted in strict compliance with the conditions of approval, will not be detrimental to persons or properties in the surrounding area or to the City in general, and will be in conformance with the overall purpose and objective of the Zoning Regulations and consistent with the goals, policies and program of the City's General Plan.
- Require that Conditional Use Permit Case No. 751-4, be subject to a compliance review in five (5) years, on or before December 9, 2024, to ensure that the use is operating in strict compliance with the conditions of approval as contained within this staff report.

Planning Commissioner Aranda requested a motion and second for Consent Items Nos. 8A-8C.

Commissioner Carbajal inquired about the ASCUP for Wal-Mart. Code Enforcement Officer Luis Collazo explained the ASCUP Consent Item process and that Wal-Mart has maintained the ASCUP for their Santa Fe Springs location.

It was moved by Commissioner Carbajal, seconded by Commissioner Aranda to approve Consent Item Nos. 8A – 8C and the recommendations regarding this item, which passed by the following vote:

Ayes: Aranda, Carbajal, and Jimenez

Nayes: None

Absent: Arnold and Ybarra

9. ANNOUNCEMENTS

Commissioners:

Commissioner Carbajal wished everyone a Happy Holidays.

Commissioner Jimenez wished everyone a Happy Holidays and Compliments of the Season.

Commissioner Aranda stated that he really enjoyed himself at the City's Employee Holiday Breakfast event.

Commissioner Aranda inquired about the upcoming changes to the City's Commissions and Committees By-Laws. Director of Planning Wayne Morrell referred the Planning Commissioners to the City's Website to review the report and by-laws that are posted online.

Staff:

Planning Consultant Laurel Reimer indicated that at the upcoming City Council Meeting the winner of the Planning Departments Annual Photo Contest will be recognized.

City Staff wished everyone a Merry Christmas and a Happy New Year.

10. ADJOURNMENT

Vice Chair Arnold adjourned the meeting at 6:18 p.m. to the next Planning Commission meeting scheduled for January 13, 2020 at 6:00 p.m.

Frank Ybarra
Chairperson

ATTEST:

Teresa Cavallo
Planning Secretary

Date



City of Santa Fe Springs

Planning Commission Meeting

January 13, 2020

PUBLIC HEARING

Categorically Exempt - CEQA Guidelines Section 15301, Class 1

Conditional Use Permit Case No. 532-1

A request for a ten-year extension of and modification of Wireless Telecommunications located at 13700 Firestone Boulevard (APN: 7005-014-052), with an Edison electrical meter address of 13648 Firestone Boulevard, in the M-2-FOZ, Heavy Manufacturing-Freeway Overlay, Zone. (Crown Castle on behalf of T-Mobile)

RECOMMENDATIONS

- Open the Public Hearing and receive any comments from the public regarding Conditional Use Permit Case No. 532-1 and thereafter, close the Public Hearing; and
- Find and determine that the proposed project will not be detrimental to persons or properties in the surrounding area or to the City in general, and will be in conformance with the overall purpose and objective of the Zoning Regulations and will be consistent with the goals, policies and programs of the City's General Plan; and
- Find that the applicant's CUP request meets the criteria set forth in §155.716 of the Zoning Regulations for the granting of a Conditional Use Permit; and
- Find and determine that pursuant to Section 15301, Class 1 (Existing Facilities), of the California Environmental Quality Act (CEQA), this project is Categorically Exempt; and
- Approve Conditional Use Permit Case No. 532-1, subject to the conditions of approval as contained within Resolution No. 148-2020; and
- Adopt Resolution No. 148-2020, which incorporates the Planning Commission's findings and actions regarding this matter.

GENERAL INFORMATION

- A. Applicant: Core Development Services
Attn: Alexander Lew
210 W. Birch Street, Suite 201
Brea, CA 92821
- B. Facility Owner: Crown Castle
Attn: Jim Lee
200 Spectrum Center Drive, Suite # 1700
Irvine, CA 92618
- C. Wireless Carrier: T-Mobile

3257 E Gausti Road, Suite 200
Ontario, CA 91764

- D. Property Owner: LeFiell Manufacturing Co
Attn: John Brode
13700 Firestone Blvd.
Santa Fe Springs, CA 90670
- E. Subject Property: 13700 Firestone Blvd.
Santa Fe Springs, CA 90670
APN: 7005-014-052
- F. Existing Zone: M-2-FOZ, Heavy Manufacturing-Freeway Overlay
- G. General Plan: Industrial
- H. CEQA Status: Categorically Exempt (Class 1)
- I. Hearing Date: January 13, 2020
- J. Staff Contact: Claudia Jimenez, Assistant Planner
claudiajimenez@santafesprings.org

BACKGROUND

The subject wireless telecommunications facility is located at 13700 Firestone Boulevard. While the facility is located at 13700 Firestone Boulevard, Southern California Edison (SCE) assigned an address of 13648 Firestone Boulevard to the electrical meter that services the wireless facility. The address of 13648 Firestone Boulevard was also assigned to the building permits for the facility. Notwithstanding, some facility modifications were permitted under 13700 Firestone Boulevard; however, moving forward, all future modifications will be permitted under the address of 13648 Firestone Boulevard.

The Planning Commission first approved Conditional Use Permit Case No. 532 on August 26, 1996, which allowed the installation, operation, and maintenance of an approximately 60'-high monopole and equipment shelter. The original approval was granted to PacBell Mobile Services, but the facility has since been sold to Crown Castle. Originally, the monopole measured approximately 60'-high, but since the initial approval the height has increased to 62'-high through modifications. The facility is located between the Santa Ana Freeway to the north and the Southern Pacific Railroad to the south, in the M-2-FOZ, Heavy Manufacturing- Freeway Overlay, Zone. There are two other wireless telecommunications facilities located on the subject property. A monopalm operated by Sprint is located immediately south of the subject pole (CUP

798) and a monopalm operated by Verizon is located immediately north (CUP 661) of the subject pole.

Crown Castle is the primary entity responsible for site maintenance and entitlements at the facility. The facility is designed as a self-contained "slim line" monopole where the antennas and ancillary equipment are fully contained within a concealment shroud at the top of the pole. Crown Castle is seeking approval to remove three (3) antennas, three (3) RRU's, six (6) 7/8" Coax Cables, and a 28" concealment shroud and install three (3) antennas, one (1) 6 x 12 hybrid cable, three (3) RRU's, and a 48" concealment shroud mounted on a 62'-0" monopole. As required by §155.711 and §157.10 of the Municipal Code, Crown Castle has requested a 10-year extension of the conditional use permit.

STREETS AND HIGHWAYS

The property has frontage on Firestone Boulevard which is designated as a local road in the circulation element of the general plan.

ZONING & GENERAL PLAN LAND USE DESIGNATION

The subject property, as well as the surrounding properties to the north (across the highway), west, and east are zoned M-2-FOZ, Heavy Manufacturing-Freeway Overlay Zone with a General Plan land use designation of Industrial. The property to the south (across the railroad right-of-way) is zoned M-2, Heavy Manufacturing with a General Plan land use designation of Industrial.

LEGAL NOTICE OF PUBLIC HEARING

This matter was set for Public Hearing in accordance with the requirements of Sections 65090 and 65091 of the State Planning, Zoning and Development Laws and the requirements of Sections 155.860 through 155.864 of the City's Municipal Code.

Legal notice of the Public Hearing for the proposed project was sent by first class mail on December 18, 2019 to all property owners whose names and addresses appear on the latest County Assessor's Roll within 500 feet of the exterior boundaries of the subject property. The legal notice was also posted in Santa Fe Springs City Hall, the City Library and the City's Town Center kiosk on December 18, 2019, and published in a newspaper of general circulation (Whittier Daily News) on December 26, 2019 as required by the State Zoning and Development Laws and by the City's Zoning Regulations. As of the date of this report, staff has not received any comments and/or inquiries regarding the proposed project.

ZONING REQUIREMENTS

Section 157.04 of the municipal code requires that all wireless telecommunications facilities have a valid conditional use permit. The procedures set forth in Section 155.711 of the Zoning Ordinance state that the purpose of the conditional use permit is to allow proper integration of uses into the community which may only be suitable in

specific locations or only if such uses are designed or constructed in a particular manner on the site, and under certain conditions. A conditional use permit may be granted only for uses listed as conditional uses in the various zones, and for such other uses as are set forth in other provisions of this chapter as requiring said permit.

ENVIRONMENTAL DOCUMENT

Staff finds that the wireless telecommunications facility conditional use permit extension meets the criteria for a Categorical Exemption pursuant to the California Environmental Quality Act (CEQA), Section 15301, Class 1 (Existing Facilities) because the facility is existing and there will be no expansion of the site. Consequently, no further environmental documents are required.

AUTHORITY OF PLANNING COMMISSION

The Planning Commission has the authority, subject to the procedures set forth in the City's Zoning Ordinance, to grant a conditional use permit when it has been found that said approval is consistent with the requirements, intent and purpose of the City's Zoning Ordinance. The Commission may grant, conditionally grant or deny a conditional use permit based on the evidence submitted and its own study and knowledge of the circumstances. All conditions of approval shall: be binding upon the applicants, their successors and assigns; run with the land; limit and control the issuance and validity of certificates of occupancy; and restrict and limit the construction, location, use and maintenance of all land and structures within the development.

STAFF CONSIDERATIONS

Staff visited the site on November 25, 2019 and confirmed that the facility is operating in compliance with all conditions of approval. Based on the findings set forth within Resolution No. 148-2020 (see Attachment 4), staff finds that the applicant's request meets the criteria set forth in §155.716 for the granting of a Conditional Use Permit. Staff is, therefore, recommending approval of Conditional Use Permit Case No. 532-1, subject to the conditions of approval as provided within Exhibit A of Resolution No. 148-2020.


Wayne M. Morrell
Director of Planning

Attachments:

1. Aerial Photograph
2. Public Hearing Notice
3. Site Photos
4. Resolution No.148-2020
 - a. Exhibit A – Conditions of Approval
5. Photo Sims
6. Project Plans

Attachment 1: Aerial Photograph

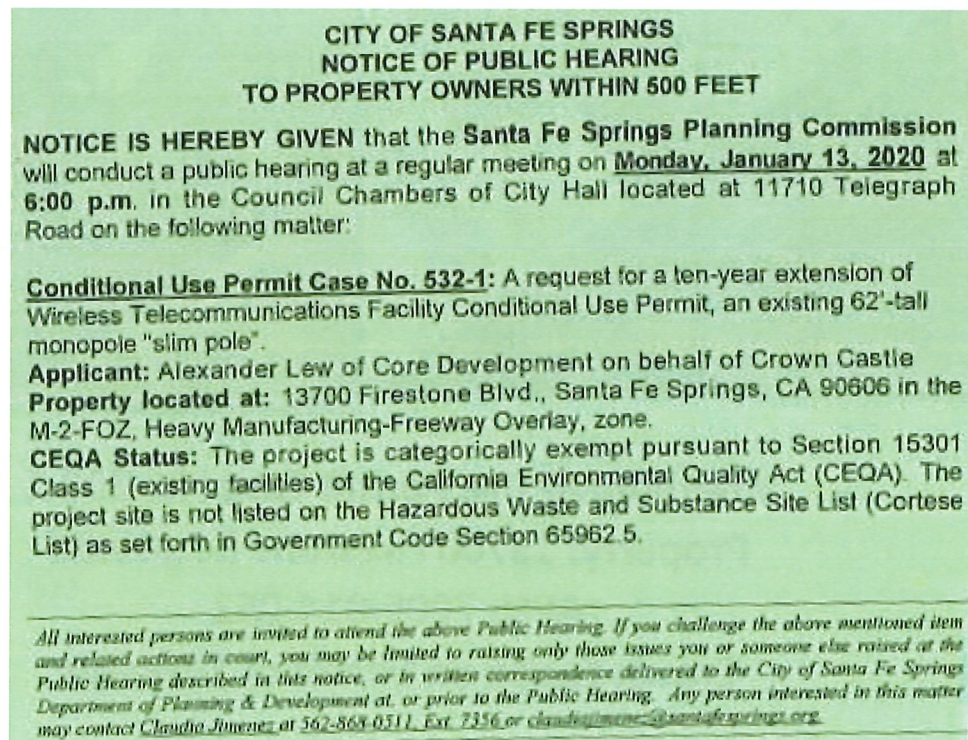
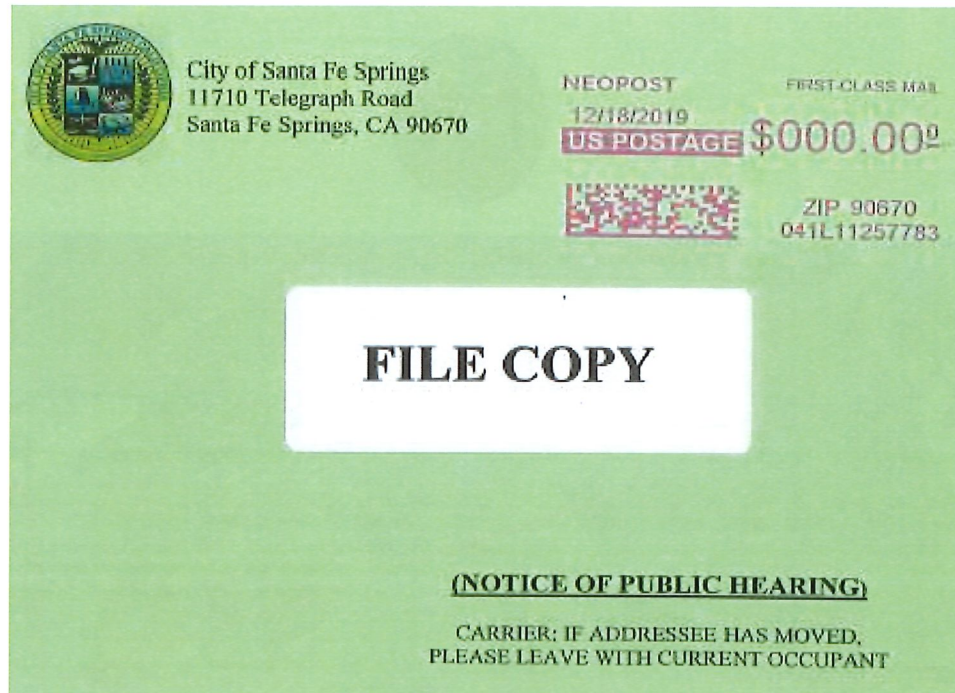


Conditional Use Permit Case No. 532-1

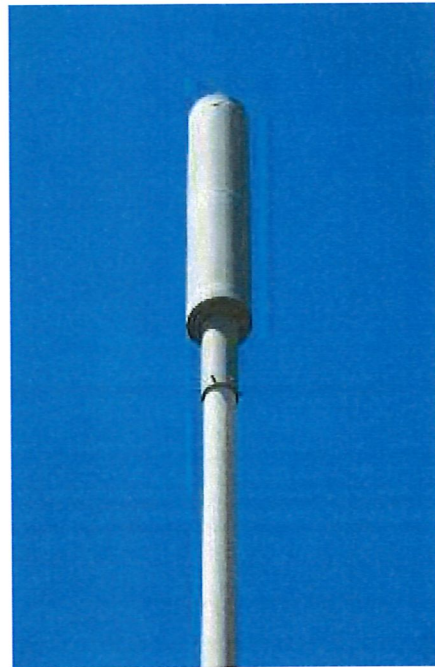
Property: 13700 Firestone Boulevard

APN: 7005-014-052

Crown Castle on behalf of T-Mobile

Attachment 2: Public Hearing Notice

Attachment 3: Site Photos



Attachment 4: Resolution No. 148-2020

- **Exhibit A – Conditions of Approval**

CITY OF SANTA FE SPRINGS
RESOLUTION NO. 148 - 2020
A RESOLUTION OF THE PLANNING COMMISSION OF
THE CITY OF SANTA FE SPRINGS REGARDING
CONDITIONAL USE PERMIT CASE NO. 532-1

WHEREAS, a request was filed for Conditional Use Permit Case No. 532-1 to allow a ten-year extension and modification of an existing monopole wireless telecommunications facility located at 13700 aka 13648 Firestone Boulevard in the M-2-FOZ, Heavy Manufacturing-Freeway Overlay, Zone; and

WHEREAS, the subject property is located south of Firestone with an Accessor's Parcel Number of 7005-014-052, as shown in the latest rolls of the Los Angeles County Office of the Assessor; and

WHEREAS, the property owner is LeFiell Manufacturing Co., 13700 Firestone Boulevard, Santa Fe Springs, CA 90670; and

WHEREAS, the wireless telecommunications facility owner is Crown Castle, 200 Spectrum Center Drive, Suite 1700, Irvine, CA 92618; and

WHEREAS, the wireless telecommunications facility carrier is T-Mobile, 3257 E. Gausti Road, Suite 200, Ontario, CA 91764; and

WHEREAS, the proposed Conditional Use Permit Case No. 532-1 is considered a project as defined by the California Environmental Quality Act (CEQA), Article 20, Section 15378(a); and

WHEREAS, the City of Santa Fe Springs Planning and Development Department on December 26, 2019 published a legal notice in the *Whitter Daily News*, a local paper of general circulation, indicating the date and time of the public hearing, and also mailed said public hearing notice on December 18, 2019 to each property owner within a 500-foot radius of the project site in accordance with state law; and

WHEREAS, the City of Santa Fe Springs Planning Commission has considered the application, the written and oral staff report, the General Plan and zoning of the subject property, the public testimony, written comments, or other materials presented at the Planning Commission meeting on January 13, 2020 concerning the environmental findings and determination for Conditional Use Permit Case No. 532-1.

NOW, THEREFORE, be it RESOLVED that the PLANNING COMMISSION of the CITY OF SANTA FE SPRINGS does hereby RESOLVE, DETERMINE and ORDER AS FOLLOWS:

SECTION I. ENVIRONMENTAL FINDINGS AND DETERMINATION

Pursuant to Section 15301, Class 1 (Existing Facilities) of the California Environmental Quality Act (CEQA), the Planning Commission hereby finds and

determines that the project is categorically exempt, in that the project involves a modification of an existing facility and no additional square footage is proposed. Therefore, it has been determined that additional environmental analysis is not necessary to meet the requirements of CEQA.

SECTION II. CONDITIONAL USE PERMIT FINDINGS

Pursuant to Section 155.716 of the Zoning Regulations, in studying any application for a Conditional Use Permit, the Commission shall give consideration to the following:

- A) *Satisfy itself that the proposed use will not be detrimental to persons or property in the immediate vicinity and will not adversely affect the city in general.*

The subject site is located within the M-2-FOZ, Heavy Manufacturing-Freeway Overlay, Zone and has a General Plan land use designation of Industrial. As stated in §157.06, manufacturing zones are the top preferred location for wireless telecommunications facilities, therefore the request is consistent with the current zoning and land use designation. The 62'-tall monopole facility was constructed in 1996 and the Conditional Use Permit request will allow for a ten-year permit approval and equipment upgrades at the existing wireless facility. The wireless telecommunications facility is unmanned and does not adversely affect the health, peace, comfort or welfare of persons working or residing in the surrounding area. The facility does not add to the ambient noise level, generate any obnoxious odors or solid waste, nor generate additional vehicular traffic. The radio frequency emissions produced by the facility fall within the Federal Communications Commission limits.

If the applicant operates in strict compliance with the conditions of approval, the wireless telecommunications facility will be harmonious with adjoining properties and surrounding land uses. Therefore, the Planning Commission finds that the wireless telecommunications facility will not be detrimental to persons or property in the immediate vicinity and will not adversely affect the city in general.

- B) *Give due consideration to the appearance of any proposed structure and may require revised architectural treatment if deemed necessary to preserve the general appearance and welfare of the community.*

The conditional use permit request is to allow for a ten-year permit approval and equipment upgrades at the existing monopole wireless telecommunications facility. The facility is disguised as a slim line pole, setback 127' from Firestone, and there are live palm trees planted on the subject property and adjacent property, which help minimize its visibility. The equipment associated with the facility is surrounded by an 8'-tall chain link fence with slats, which completely screens the cabinets from view. The facility's large setback, nearby live trees, and location of equipment mitigate the visual impact. Therefore, the Planning Commission finds that the continued use of the existing monopole will maintain the general appearance and welfare of the community.

In addition, pursuant to §157.05 of the City's Code of Ordinances, the Commission shall also take into consideration the following factors:

- C) The proposed wireless telecommunications facility will not be detrimental to persons or property in the immediate vicinity and will not adversely affect the city in general.

The wireless facility has been in operation for nearly 23 years without incident. The facility has not adversely affected the immediate vicinity or the city in general.

- D) The proposed wireless telecommunications facility has been designed to achieve compatibility with the community to the maximum extent reasonably feasible.

The facility is disguised as a slim line pole and the associated equipment is fully screened by a chain link fence with slats. Additionally, the facility is setback over 127' from the nearest public street. The facility's location and monopole design successfully achieve community compatibility.

- E) The location of the wireless telecommunications facility on alternative sites will not increase community compatibility or is not reasonably feasible.

The wireless facility has been in operation for nearly 23 years without complaints from the surrounding community. Alternate sites were not considered because it would not be feasible to ask T-Mobile to relocate a facility that has proven to be compatible with the community.

- F) The proposed wireless telecommunications facility is necessary to close a significant gap in coverage, increase network capacity, or maintain service quality, and is the least intrusive means of doing so.

The proposed equipment upgrades will allow T-Mobile to provide enhanced services, capacity, and data services to the surrounding community. Upgrading the existing facility, versus constructing a new facility, is the least intrusive means of providing the increased network coverage and capacity that Sprint needs.

SECTION III. PLANNING COMMISSION ACTION

The Planning Commission hereby adopts Resolution No. 148-2020 to determine that the proposed Conditional Use Permit is Categorically Exempt pursuant to the California Environmental Quality Act (CEQA) Section 15301, Class 1 (Existing Facilities), and to approve Conditional Use Permit Case No. 532-1 to allow a ten-year extension and modification of an existing monopole wireless telecommunications facility located at 13700 Firestone Boulevard in the M-2-FOZ, Heavy Manufacturing-Freeway Overlay, Zone subject to conditions attached hereto as Exhibit A.

ADOPTED and APPROVED this 13th day of January, 2020 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE SPRINGS.

Frank Ybarra, Chairperson

ATTEST:

Teresa Cavallo, Planning Secretary

EXHIBIT A
CUP 532-1 CONDITIONS OF APPROVAL

POLICE SERVICES DEPARTMENT:

(Contact: Luis Collazo 562-868-0511 x3320)

1. Crown Castle shall test the telecommunications system to ensure it does not interfere with the Police, Fire and City communication system. This testing process shall be repeated for every proposed frequency addition and/or change. Crown Castle shall be strictly liable for interference caused by their facility. Crown Castle shall be responsible for all labor and equipment costs for determining the source of the interference, all costs associated with eliminating the interference (including but not limited to filtering, installing cavities, installing directional antennas, powering down systems, and engineering analysis), and all costs arising from third party claims against the city attributable to the interference.
2. Crown Castle shall provide a 24-hour phone number to which interference problems may be reported to the Director of Police Services, Director of Planning, and the Fire Chief. Said phone number shall be provided no later than 60 days from the date of approval by the Planning Commission. This condition will also apply to all existing Crown Castle facilities in the City of Santa Fe Springs.
3. Crown Castle shall provide a "single point of contact" in its Engineering and Maintenance Departments to ensure continuity on all maintenance and interference issues. The name, telephone number and e-mail address of that person shall be provided to the Director of Police Services, Director of Planning, and the Fire Chief no later than 60 days from the date of approval by the Planning Commission.
4. The wireless telecommunications facility, including any shrouds, lighting, fences, walls, cabinets, and poles, shall be maintained by Crown Castle in good repair, free from trash, debris, litter and graffiti and other forms of vandalism. Any damage from any cause shall be repaired within 72 hours of occurrence, weather permitting, to minimize occurrences of dangerous conditions or visual blight. Paint utilized in covering graffiti shall be a color that matches, as closely possible, the color of the adjacent surfaces.

PLANNING AND DEVELOPMENT DEPARTMENT:

(Contact: Claudia Jimenez 562-868-0511 x7356)

5. The facility shall comply with the requirements pursuant to Chapter 157 of the Santa Fe Springs Municipal Ordinance.
6. The wireless telecommunications facility shall be substantially in accordance with the plans submitted by the applicant and on file with the case. The wireless

telecommunications facility shall not exceed the height (62'-0" to top of concealment shroud) specified in the plans.

7. The new equipment to be located completely within the new 48" radome and mounted to the existing mounts ((3) Antennas and (3) RRU's).
8. The 6 x 12 HCS hybrid and coax cables shall be routed within the monopole.
9. The new concealment shroud shall be painted a grey color to match the color of the existing monopole.
10. The existing lease area for the wireless telecommunications facility shall remain unobstructed at all times. No outdoor storage may occur within these areas.
11. No signs, advertisements, logos, messages, banners, clocks or similar identification improvements, except FCC required signage, shall be permitted on the antenna structure or equipment shelter.
12. The applicant/operator shall be responsible for maintaining the wireless telecommunications facility in good condition and shall agree to the repair and replacement of equipment, stealth and structural components due to damage caused by outdoor exposure and/or inclement weather. The applicant shall replace such components within 90 days of written notice by the Planning Director.
13. Insofar as is feasible, Crown Castle shall cooperate with any subsequent applicants for possible co-location. Said subsequent applicants shall be subject to the regulations in effect at the time of co-location.
14. Upon any transfer or lease of the wireless telecommunications facility during the term of Conditional Use Permit Case No. 532-1, Crown Castle and/or the property owner shall promptly provide a copy of the conditional use permit to the transferee or lessee and shall ensure that lessee or other user(s) shall comply with the terms and conditions of this permit. The Department of Planning and Development shall also be notified in writing of any such transfer or lease.
15. Crown Castle and/or the property owner shall promptly notify the Director of Planning, in writing, in the event that the use of the telecommunications facility is discontinued or abandoned. Crown Castle and/or property owner shall promptly remove the facility, repair any damage to the premises caused by such removal, and restore the premises to its pre-telecommunications condition so as to be in conformance with all applicable zoning codes at Crown Castle and/or owner's expense. All such removal, repair and restoration shall be completed within six (6) months after the use is discontinued or abandoned, and shall be performed in accordance with all applicable health and safety code requirements.

16. If applicable, Crown Castle shall comply with the City's "Heritage Artwork in Public Places Program" in conformance with City Ordinance No. 1054.
17. All projects over \$50,000 are subject to the requirements of Ordinance No. 914 to reuse or recycle 75% of the project waste. Contact the Recycling Coordinator, MuniEnvironmental, at (562) 432-3700 or info@MuniEnvironmental.com.
18. The owner/applicant shall require and verify that all contractors and sub-contractors have successfully obtained a Business License with the City of Santa Fe Springs prior to beginning any work associated with the subject project. A late fee and penalty will be assessed to any contractor or sub-contractor that fails to obtain a Business License and a Building Permit final or Certificate of Occupancy will not be issued until all fees and penalties are paid in full. Please contact the Finance Department at (562) 868-0511, extension 7520 for additional information and application or one can be downloaded at www.santafesprings.org.
19. All other requirements of the City's Zoning Regulations, Building Code, Property Maintenance Ordinance, and City Fire Code and all other applicable County, State and Federal regulations and codes shall be complied with.
20. Crown Castle agrees to defend, indemnify and hold harmless the City of Santa Fe Springs, its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul an approval of the City or any of its councils, commissions, committees or boards concerning Conditional Use Permit Case No. 532-1, when action is brought within the time period provided for in the City's Zoning Ordinance, Section 155.865. Should the City, its agents, officers or employees receive notice of any such claim, action or proceeding, the City shall promptly notify the owner/developer of such claim, action or proceeding, and shall cooperate fully in the defense thereof.
21. Conditional Use Permit Case No. 532-1 shall be valid for a period of ten (10) years, until January 13, 2030. Approximately three (3) months before January 13, 2030, Crown Castle and/or the current operator or owner shall request, in writing, an extension of the privileges granted herein, provided that the use has been continuously maintained in strict compliance with these conditions of approval.
22. It is hereby declared to be the intent that if any provision of this Permit is violated or held to be invalid, or if any law, statute or ordinance is violated, the Permit shall be void and the privileges granted hereunder shall lapse.

Attachment 5: Photo Sims





EXISTING







Attachment 6: Project Plans



T-MOBILE SITE NUMBER: LA02315A
T-MOBILE SITE NAME: LA315 CIGAR POLE
T-MOBILE PROJECT: 600 MHZ

BUSINESS UNIT #: 828504
SITE ADDRESS: 13700 FIRESTONE BLVD
SANTA FE SPRINGS, CA 90670
COUNTY: LOS ANGELES
SITE TYPE: MONOPOLE
TOWER HEIGHT: 62'-0"

T-Mobile
3257 EAST GUASTI ROAD, SUITE 200
ONTARIO, CA 91764

CROWN CASTLE
200 SPECTRUM CENTER DRIVE,
SUITE 1700 & 1800
IRVINE, CA 92618

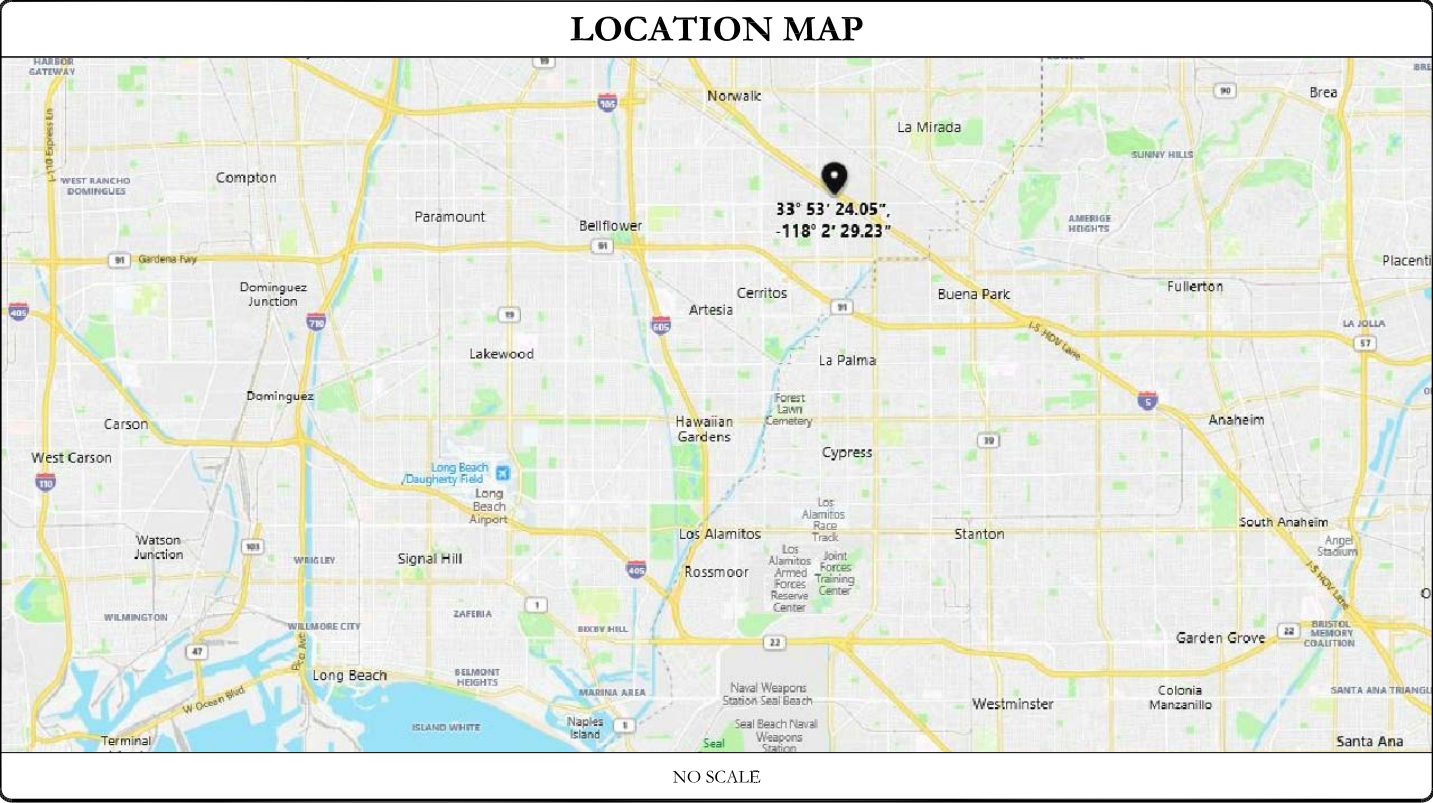
SITE INFORMATION	
CROWN CASTLE USA INC. SITE NAME:	TMT LA315 CIGAR POLE
SITE ADDRESS:	13700 FIRESTONE BLVD SANTA FE SPRINGS, CA 90670
COUNTY:	LOS ANGELES
MAP/PARCEL #:	7005-014-052
AREA OF CONSTRUCTION:	EXISTING
LATITUDE:	33° 53' 24.05"
LONGITUDE:	-118° 02' 29.23"
LAT/LONG TYPE:	NAD83
GROUND ELEVATION:	74 FT.
CURRENT ZONING:	M-2 & BP
JURISDICTION:	CITY OF SANTA FE SPRINGS
OCCUPANCY CLASSIFICATION:	U
TYPE OF CONSTRUCTION:	IIB
A.D.A. COMPLIANCE:	FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION
PROPERTY OWNER:	LE FIELL MANUFACTURING CO 13700 FIRESTONE BLVD SANTA FE SPRINGS, CA 90670
TOWER OWNER:	CCTM1 LLC 2000 CORPORATE DRIVE CANONSBURG, PA 15317
CARRIER/APPLICANT:	T-MOBILE 3257 EAST GUASTI ROAD, SUITE 200 ONTARIO, CA 91764
ELECTRIC PROVIDER:	SOUTHERN CALIFORNIA EDISON (800) 445-6555
TELCO PROVIDER:	AT&T (866) 620-6900

DRAWING INDEX	
SHEET #	SHEET DESCRIPTION
T-1	TITLE SHEET
T-2	GENERAL NOTES
C-1.1	OVERALL SITE PLAN
C-1.2	EXISTING & FINAL EQUIPMENT PLANS
C-2.1	TOWER ELEVATIONS
C-2.2	TOWER ELEVATIONS
C-3	ANTENNA PLANS
C-4	FINAL EQUIPMENT SCHEDULE
C-5	EQUIPMENT SPECS
G-1	GROUNDING DETAILS
ATTACHED	PLUMBING DIAGRAM
ALL DRAWINGS CONTAINED HEREIN ARE FORMATTED FOR 11X17. CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.	



CALL CALIFORNIA ONE CALL
(800) 227-2600
CALL 3 WORKING DAYS
BEFORE YOU DIG!





CROWN CASTLE USA INC. SITE ACTIVITY REQUIREMENTS:

1. NOTICE TO PROCEED– NO WORK SHALL COMMENCE PRIOR TO CROWN CASTLE USA INC. WRITTEN NOTICE TO PROCEED (NTP) AND THE ISSUANCE OF A PURCHASE ORDER. PRIOR TO ACCESSING/ENTERING THE SITE YOU MUST CONTACT THE CROWN CASTLE USA INC. NOC AT 800-788-7011 & THE CROWN CASTLE USA INC. CONSTRUCTION MANAGER.
2. "LOOK UP" – CROWN CASTLE USA INC. SAFETY CLIMB REQUIREMENT:
THE INTEGRITY OF THE SAFETY CLIMB AND ALL COMPONENTS OF THE CLIMBING FACILITY SHALL BE CONSIDERED DURING ALL STAGES OF DESIGN, INSTALLATION, AND INSPECTION. TOWER MODIFICATION, MOUNT REINFORCEMENTS, AND/OR EQUIPMENT INSTALLATIONS SHALL NOT COMPROMISE THE INTEGRITY OR FUNCTIONAL USE OF THE SAFETY CLIMB OR ANY COMPONENTS OF THE CLIMBING FACILITY ON THE STRUCTURE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: FINCHING OF THE WIRE ROPE, BENDING OF THE WIRE ROPE FROM ITS SUPPORTS, DIRECT CONTACT OR CLOSE PROXIMITY TO THE WIRE ROPE WHICH MAY CAUSE FRICTIONAL WEAR, IMPACT TO THE ANCHORAGE POINTS IN ANY WAY, OR TO IMPEDE/BLOCK ITS INTENDED USE. ANY COMPROMISED SAFETY CLIMB, INCLUDING EXISTING CONDITIONS MUST BE TAGGED OUT AND REPORTED TO YOUR CROWN CASTLE USA INC. POC OR CALL THE NOC TO GENERATE A SAFETY CLIMB MAINTENANCE AND CONTRACTOR NOTICE TICKET.
3. PRIOR TO THE START OF CONSTRUCTION, ALL REQUIRED JURISDICTIONAL PERMITS SHALL BE OBTAINED. THIS INCLUDES, BUT IS NOT LIMITED TO, BUILDING, ELECTRICAL, MECHANICAL, FIRE, FLOOD ZONE, ENVIRONMENTAL, AND ZONING. AFTER ONSITE ACTIVITIES AND CONSTRUCTION ARE COMPLETED, ALL REQUIRED PERMITS SHALL BE SATISFIED AND CLOSED OUT ACCORDING TO LOCAL JURISDICTIONAL REQUIREMENTS.
4. ALL CONSTRUCTION MEANS AND METHODS; INCLUDING BUT NOT LIMITED TO, ERECTION PLANS, RIGGING PLANS, CLIMBING PLANS, AND RESCUE PLANS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR RESPONSIBLE FOR THE EXECUTION OF THE WORK CONTAINED HEREIN, AND SHALL MEET ANSI/ASSE A10.48 (LATEST EDITION); FEDERAL, STATE, AND LOCAL REGULATIONS; AND ANY APPLICABLE INDUSTRY CONSENSUS STANDARDS RELATED TO THE CONSTRUCTION ACTIVITIES BEING PERFORMED. ALL RIGGING PLANS SHALL ADHERE TO ANSI/ASSE A10.48 (LATEST EDITION) AND CROWN CASTLE USA INC. STANDARD CED–STD–10253, INCLUDING THE REQUIRED INVOLVEMENT OF A QUALIFIED ENGINEER FOR CLASS IV CONSTRUCTION, TO CERTIFY THE SUPPORTING STRUCTURE(S) IN ACCORDANCE WITH ANSI/TIA–322 (LATEST EDITION).
5. ALL SITE WORK TO COMPLY WITH QAS–STD–10068 "INSTALLATION STANDARDS FOR CONSTRUCTION ACTIVITIES ON CROWN CASTLE USA INC. TOWER SITE" AND LATEST VERSION OF ANSI/TIA–1019–A–2012 "STANDARD FOR INSTALLATION, ALTERATION, AND MAINTENANCE OF ANTENNA SUPPORTING STRUCTURES AND ANTENNAS."
6. IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY CROWN CASTLE USA INC. PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
7. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
8. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
9. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
10. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED. ALL UTILITIES REQUIRED FOR THE PROTECTION OF THE PROJECT, INCLUDING THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING AND EXCAVATION E) CONSTRUCTION SAFETY PROCEDURES.
11. ALL SITE WORK SHALL BE AS INDICATED ON THE STAMPED CONSTRUCTION DRAWINGS AND PROJECT SPECIFICATIONS, LATEST APPROVED REVISION.
12. CONTRACTOR SHALL KEEP THE SITE FREE FROM ACCUMULATING WASTE MATERIAL, DEBRIS, AND TRASH AT THE COMPLETION OF THE WORK. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
13. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF CONTRACTOR, TOWER OWNER, CROWN CASTLE USA INC., AND/OR LOCAL UTILITIES.
14. THE CONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATION FOR SITE SIGNAGE REQUIRED BY LOCAL JURISDICTION AND SIGNAGE REQUIRED ON INDIVIDUAL PIECES OF EQUIPMENT, ROOMS, AND SHELTERS.
15. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE CARRIER'S EQUIPMENT AND TOWER AREAS.
16. THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
17. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION AS SPECIFIED ON THE CONSTRUCTION DRAWINGS AND/OR PROJECT SPECIFICATIONS.
18. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
19. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
20. CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
21. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.
22. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.

GREENFIELD GROUNDING NOTES:

1. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION AND AC POWER GES'S) SHALL BE BONDED TOGETHER AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
2. THE CONTRACTOR SHALL PERFORM IEEE FALL-OF–POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR GROUND ELECTRODE SYSTEMS, THE CONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT AND PROVIDE TESTING RESULTS.
4. METAL CONDUIT AND TRAY SHALL BE GROUNDDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 COPPER WIRE UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
5. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO ITS EQUIPMENT.
6. EACH CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES, #6 STRANDED COPPER OR LARGER FOR INDOOR BTS; #2 BARE SOLID TINNED COPPER FOR OUTDOOR BTS.
7. CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED BACK TO BACK CONNECTIONS ON OPPOSITE SIDE OF THE GROUND BUS ARE PERMITTED.
8. ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING SHALL BE #2 SOLID TINNED COPPER UNLESS OTHERWISE INDICATED.
9. ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
10. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED.
11. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
12. ALL GROUND CONNECTIONS ABOVE GRADE (INTERIOR AND EXTERIOR) SHALL BE FORMED USING HIGH PRESS CRIMPS.
13. COMPRESSION GROUND CONNECTIONS MAY BE REPLACED BY EXOTHERMIC WELD CONNECTIONS.
14. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR.
15. APPROVED ANTIOXIDANT COATINGS (i.e. CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
16. ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
17. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
18. BOND ALL METALLIC OBJECTS WITHIN 6 ft OF MAIN GROUND RING WITH (1) #2 BARE SOLID TINNED COPPER GROUND CONDUCTOR.
19. GROUND CONDUCTORS USED FOR THE FACILITY GROUNDING AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS. WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL SUCH AS PVC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (i.e., NONMETALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.
20. ALL GROUNDS THAT TRANSITION FROM BELOW GRADE TO ABOVE GRADE MUST BE #2 BARE SOLID TINNED COPPER IN 3/4" NON-METALLIC, FLEXIBLE CONDUIT FROM 24" BELOW GRADE TO WITHIN 3" TO 6" OF CAD–WELD TERMINATION POINT. THE EXPOSED END OF THE CONDUIT MUST BE SEALED WITH SILICONE CAULK. (ADD TRANSITIONING GROUND STANDARD DETAIL AS WELL).
21. BUILDINGS WHERE THE MAIN GROUNDING CONDUCTORS ARE REQUIRED TO BE ROUTED TO GRADE, THE CONTRACTOR SHALL ROUTE TWO GROUNDING CONDUCTORS FROM THE ROOFTOP, TOWERS, AND WATER TOWERS GROUNDING RING, TO THE EXISTING GROUNDING SYSTEM, THE GROUNDING CONDUCTORS SHALL NOT BE SMALLER THAN 2/0 COPPER. ROOFTOP GROUNDING RING SHALL BE BONDED TO THE EXISTING GROUNDING SYSTEM, THE BUILDING STEEL COLUMNS, LIGHTNING PROTECTION SYSTEM, AND BUILDING MAIN WATER LINE (FERROUS OR NONFERROUS METAL PIPING ONLY).

GENERAL NOTES:

1. FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
CONTRACTOR: GENERAL CONTRACTOR RESPONSIBLE FOR CONSTRUCTION
CARRIER: T–MOBILE
TOWER OWNER: CROWN CASTLE USA INC.
2. THESE DRAWINGS HAVE BEEN PREPARED USING STANDARDS OF PROFESSIONAL CARE AND COMPLETENESS NORMALLY EXERCISED UNDER SIMILAR CIRCUMSTANCES BY REPUTABLE ENGINEERS IN THIS OR SIMILAR LOCALITIES. IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKPEOPLE WHO HAVE A WORKING KNOWLEDGE OF THE APPLICABLE CODE STANDARDS AND REQUIREMENTS AND OF INDUSTRY ACCEPTED STANDARD GOOD PRACTICE. AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL USE INDUSTRY ACCEPTED STANDARD GOOD PRACTICE FOR MISCELLANEOUS WORK NOT EXPLICITLY SHOWN.
3. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE MEANS OR METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY FOR PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, FORMWORK, SHORING, ETC. SITE VISITS BY THE ENGINEER OR HIS REPRESENTATIVE WILL NOT INCLUDE INSPECTION OF THESE ITEMS AND IS FOR STRUCTURAL OBSERVATION OF THE FINISHED STRUCTURE ONLY.
4. NOTES AND DETAILS IN THE CONSTRUCTION DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT, AND/OR AS PROVIDED FOR IN THE CONTRACT DOCUMENTS. WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL NOTES, AND SPECIFICATIONS, THE GREATER, MORE STRICT REQUIREMENTS, SHALL GOVERN. IF FURTHER CLARIFICATION IS REQUIRED CONTACT THE ENGINEER OF RECORD.
5. SUBSTANTIAL EFFORT HAS BEEN MADE TO PROVIDE ACCURATE DIMENSIONS AND MEASUREMENTS ON THE DRAWINGS TO ASSIST IN THE FABRICATION AND/OR PLACEMENT OF CONSTRUCTION ELEMENTS BUT IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE DIMENSIONS, MEASUREMENTS, AND/OR CLEARANCES SHOWN IN THE CONSTRUCTION DRAWINGS PRIOR TO FABRICATION OR CUTTING OF ANY NEW OR EXISTING CONSTRUCTION ELEMENTS. IF IT IS DETERMINED THAT THERE ARE DISCREPANCIES AND/OR CONFLICTS WITH THE CONSTRUCTION DRAWINGS THE ENGINEER OF RECORD IS TO BE NOTIFIED AS SOON AS POSSIBLE.
6. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING CONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CROWN CASTLE.
7. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
8. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
9. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
10. IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CARRIER AND CROWN CASTLE PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
11. CONTRACTOR IS TO PERFORM A SITE INVESTIGATION AND IS TO DETERMINE THE BEST ROUTING OF ALL CONDUITS FOR POWER, AND TELCO AND FOR GROUNDING CABLES AS SHOWN IN THE POWER, TELCO, AND GROUNDING PLAN DRAWINGS.
12. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF CROWN CASTLE USA INC.
13. CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
14. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.

CONCRETE, FOUNDATIONS, AND REINFORCING STEEL:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST–IN–PLACE CONCRETE.
2. UNLESS NOTED OTHERWISE, SOIL BEARING PRESSURE USED FOR DESIGN OF SLABS AND FOUNDATIONS IS ASSUMED TO BE 1000 psf.
3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (f'c) OF 3000 psi AT 28 DAYS, UNLESS NOTED OTHERWISE. NO MORE THAN 90 MINUTES SHALL ELAPSE FROM BATCH TIME TO TIME OF PLACEMENT UNLESS APPROVED BY THE ENGINEER OF RECORD. TEMPERATURE OF CONCRETE SHALL NOT EXCEED 90° AT TIME OF PLACEMENT.
4. CONCRETE EXPOSED TO FREEZE–THAW CYCLES SHALL CONTAIN AIR ENTRAINING ADMIXTURES. AMOUNT OF AIR ENTRAINMENT TO BE BASED ON SIZE OF AGGREGATE AND F3 CLASS EXPOSURE (VERY SEVERE). CEMENT USED TO BE TYPE II PORTLAND CEMENT WITH A MAXIMUM WATER–TO–CEMENT RATIO (W/C) OF 0.45.
5. ALL STEEL REINFORCING SHALL CONFORM TO ASTM A615. ALL WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A185. ALL SPLICES SHALL BE CLASS "B" TENSION SPLICES, UNLESS NOTED OTHERWISE. ALL HOOKS SHALL BE STANDARD 90 DEGREE HOOKS, UNLESS NOTED OTHERWISE. YIELD STRENGTH (Fy) OF STANDARD DEFORMED BARS ARE AS FOLLOWS:
#4 BARS AND SMALLER 40 ksi
#5 BARS AND LARGER 60 ksi
#6 BARS AND LARGER 65 ksi
#5 BARS AND SMALLER 1–1/2"
CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
#6 BARS AND LARGER 2"
#5 BARS AND SMALLER 1–1/2"
CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
SLAB AND WALLS 3/4"
BEAMS AND COLUMNS 1–1/2"
7. A TOOLED EDGE OR A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNLESS NOTED OTHERWISE, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.

ELECTRICAL INSTALLATION NOTES:

1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES/ORDINANCES.
2. CONDUIT ROUTINGS ARE SCHEMATIC. CONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED AND TRIP HAZARDS ARE ELIMINATED.
3. WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC.
4. ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC.
 - 4.1. ALL EQUIPMENT SHALL BEAR THE UNDERWRITERS LABORATORIES LABEL OF APPROVAL, AND SHALL CONFORM TO REQUIREMENT OF THE NATIONAL ELECTRICAL CODE.
 - 4.2. ALL OVERCURRENT DEVICES SHALL HAVE AN INTERRUPTING CURRENT RATING THAT SHALL BE GREATER THAN THE SHORT CIRCUIT CURRENT TO WHICH THEY ARE SUBJECTED, 20,000 AIC MINIMUM. VERIFY AVAILABLE SHORT CIRCUIT CURRENT DOES NOT EXCEED THE RATING OF ELECTRICAL EQUIPMENT IN ACCORDANCE WITH ARTICLE 110.24 NEC OR THE MOST CURRENT ADOPTED CODE PRE THE GOVERNING JURISDICTION.
5. EACH END OF EVERY POWER PHASE CONDUCTOR, GROUNDING CONDUCTOR, AND TELCO CONDUCTOR OR CABLE SHALL BE LABELED WITH COLOR–CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2" PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC AND OSHA.
6. ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH LAMICOID TAGS SHOWING THEIR RATED VOLTAGE, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING AND BRANCH CIRCUIT ID NUMBERS (i.e. PANEL BOARD AND CIRCUIT ID'S).
7. PANEL BOARDS (ID NUMBERS) SHALL BE CLEARLY LABELED WITH PLASTIC LABELS.
8. ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.
9. ALL POWER AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE COPPER CONDUCTOR (#14 OR LARGER) WITH TYPE THHW, THWN, THWN–2, XHHW, XHHW–2, THW, THW–2, RHW, OR RHW–2 INSULATION UNLESS OTHERWISE SPECIFIED.
10. SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE COPPER CONDUCTOR (#6 OR LARGER) WITH TYPE THHW, THWN, THWN–2, XHHW, XHHW–2, THW, THW–2, RHW, OR RHW–2 INSULATION UNLESS OTHERWISE SPECIFIED.
11. POWER AND CONTROL WIRING IN FLEXIBLE CORD SHALL BE MULTI–CONDUCTOR, TYPE SOOW CORD (#14 OR LARGER) UNLESS OTHERWISE SPECIFIED.
12. POWER AND CONTROL WIRING FOR USE IN CABLE TRAY SHALL BE MULTI–CONDUCTOR, TYPE TC CABLE (#14 OR LARGER), WITH TYPE THHW, THWN, THWN–2, XHHW, XHHW–2, THW, THW–2, RHW, OR RHW–2 INSULATION UNLESS OTHERWISE SPECIFIED.
13. ALL POWER AND GROUNDING CONNECTIONS SHALL BE CRIMP–STYLE, COMPRESSION WIRE LUGS AND WIRE NUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRE NUTS SHALL BE RATED FOR OPERATION NOT LESS THAN 75° C (90° C IF AVAILABLE).
14. RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND NEC.
15. ELECTRICAL METALLIC TUBING (EMT), INTERMEDIATE METAL CONDUIT (IMC), OR RIGID METAL CONDUIT (RMC) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
16. ELECTRICAL METALLIC TUBING (EMT) OR METAL–CLAD CABLE (MC) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
17. SCHEDULE 40 PVC UNDERGROUND ON STRAIGHTS AND SCHEDULE 80 PVC FOR ALL ELBOWS/90s AND ALL APPROVED ABOVE GRADE PVC CONDUIT.
18. LIQUID–TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID–TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
19. CONDUIT AND TYING FITTINGS SHALL BE THREADED OR COMPRESSION–TYPE AND APPROVED FOR THE LOCATION USED. SET SCREW FITTINGS ARE NOT ACCEPTABLE.
20. CABINETS, BOXES AND WIRE WAYS SHALL BE LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND THE NEC.
21. WIREWAYS SHALL BE METAL WITH AN ENAMEL FINISH AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARDS (WIREMOLD SPECMATE WIREWAY).
22. SLOTTED WIRING DUCT SHALL BE PVC AND INCLUDE COVER (PANDUIT TYPE E OR EQUAL).
23. CONDUITS SHALL BE FASTENED SECURELY IN PLACE WITH APPROVED NON–PERFORATED STRAPS AND HANGERS. EXPLOSIVE DEVICES (i.e. POWDER–ACTUATED) FOR ATTACHING HANGERS TO STRUCTURE WILL NOT BE PERMITTED. CLOSELY FOLLOW THE LINES OF THE STRUCTURE, MAINTAIN CLOSE PROXIMITY TO THE STRUCTURE AND KEEP CONDUITS IN TIGHT ENVELOPES. CHANGES IN DIRECTION TO ROUTE AROUND OBSTACLES SHALL BE MADE WITH CONDUIT OUTLET BODIES. CONDUIT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. PARALLEL AND PERPENDICULAR TO STRUCTURE WALL AND CEILING LINES. ALL CONDUIT SHALL BE FISHED TO CLEAR OBSTRUCTIONS. ENDS OF CONDUITS SHALL BE TEMPORARILY CAPPED FLUSH TO FINISH GRADE TO PREVENT CONCRETE, PLASTER OR DIRT FROM ENTERING. CONDUITS SHALL BE RIGIDLY CLAMPED TO BOXES BY GALVANIZED MALLEABLE IRON BUSHING ON INSIDE AND GALVANIZED MALLEABLE IRON LOCKNUT ON OUTSIDE AND INSIDE.
24. EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES AND PULL BOXES SHALL BE GALVANIZED OR EPOXY–COATED SHEET STEEL. SHALL MEET OR EXCEED UL 50 AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND NEMA 3R (OR BETTER) FOR EXTERIOR LOCATIONS.
25. METAL RECEPTACLE, SWITCH AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY–COATED OR NON–CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1 AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND WEATHER PROTECTED (WP OR BETTER) FOR EXTERIOR LOCATIONS.
26. NONMETALLIC RECEPTACLE, SWITCH AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2 (NEWEST REVISION) AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND WEATHER PROTECTED (WP OR BETTER) FOR EXTERIOR LOCATIONS.
27. THE CONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CARRIER AND/OR CROWN CASTLE USA INC. BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
28. THE CONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD LIFE AND PROPERTY.
29. INSTALL LAMICOID LABEL ON THE METER CENTER TO SHOW "T–MOBILE".
30. ALL EMPTY/SPARE CONDUITS THAT ARE INSTALLED ARE TO HAVE A METERED MULE TAPE PULL CORD INSTALLED.

CONDUCTOR COLOR CODE		
SYSTEM	CONDUCTOR	COLOR
120/240V, 1Ø	A PHASE	BLACK
	B PHASE	RED
	NEUTRAL	WHITE
	GROUND	GREEN
	A PHASE	BLACK
120/208V, 3Ø	B PHASE	RED
	C PHASE	BLUE
	NEUTRAL	WHITE
	GROUND	GREEN
	A PHASE	BROWN
277/480V, 3Ø	B PHASE	ORANGE OR PURPLE
	C PHASE	YELLOW
	NEUTRAL	GREY
	GROUND	GREEN
	POS (+)	RED**
DC VOLTAGE	NEG (–)	BLACK**

* SEE NEC 210.5(C)(1) AND (2)
** POLARITY MARKED AT TERMINATION

ABBREVIATIONS:

ANT	ANTENNA
(E)	EXISTING
FIF	FACILITY INTERFACE FRAME
GEN	GENERATOR
GPS	GLOBAL POSITIONING SYSTEM
GSM	GLOBAL SYSTEM FOR MOBILE
LTE	LONG TERM EVOLUTION
MGB	MASTER GROUND BAR
MW	MICROWAVE
(N)	NEW
NEC	NATIONAL ELECTRIC CODE
(P)	PROPOSED
PP	POWER PLANT

QTY	QUANTITY
RECT	RECTIFIER
RBS	RADIO BASE STATION
RET	REMOTE ELECTRIC TILT
RFDS	RADIO FREQUENCY DATA SHEET
RRH	REMOTE RADIO HEAD
RRU	REMOTE RADIO UNIT
SIAD	SMART INTEGRATED DEVICE
TMA	TOWER MOUNTED AMPLIFIER
TYP	TYPICAL
UMTS	UNIVERSAL MOBILE TELECOMMUNICATIONS SYSTEM
W.P.	WORK POINT

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LA02315A

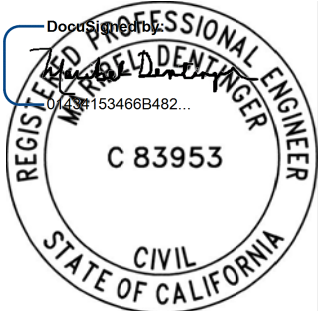
BU #: 828504
TMT LA315 CIGAR POLE

13700 FIRESTONE BLVD
SANTA FE SPRINGS, CA 90670

EXISTING 62'-0" MONOPOLE

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES./QA
A	05/20/19	KB	PRELIMINARY	CWJ
0	07/25/19	JAS	CONSTRUCTION	MD



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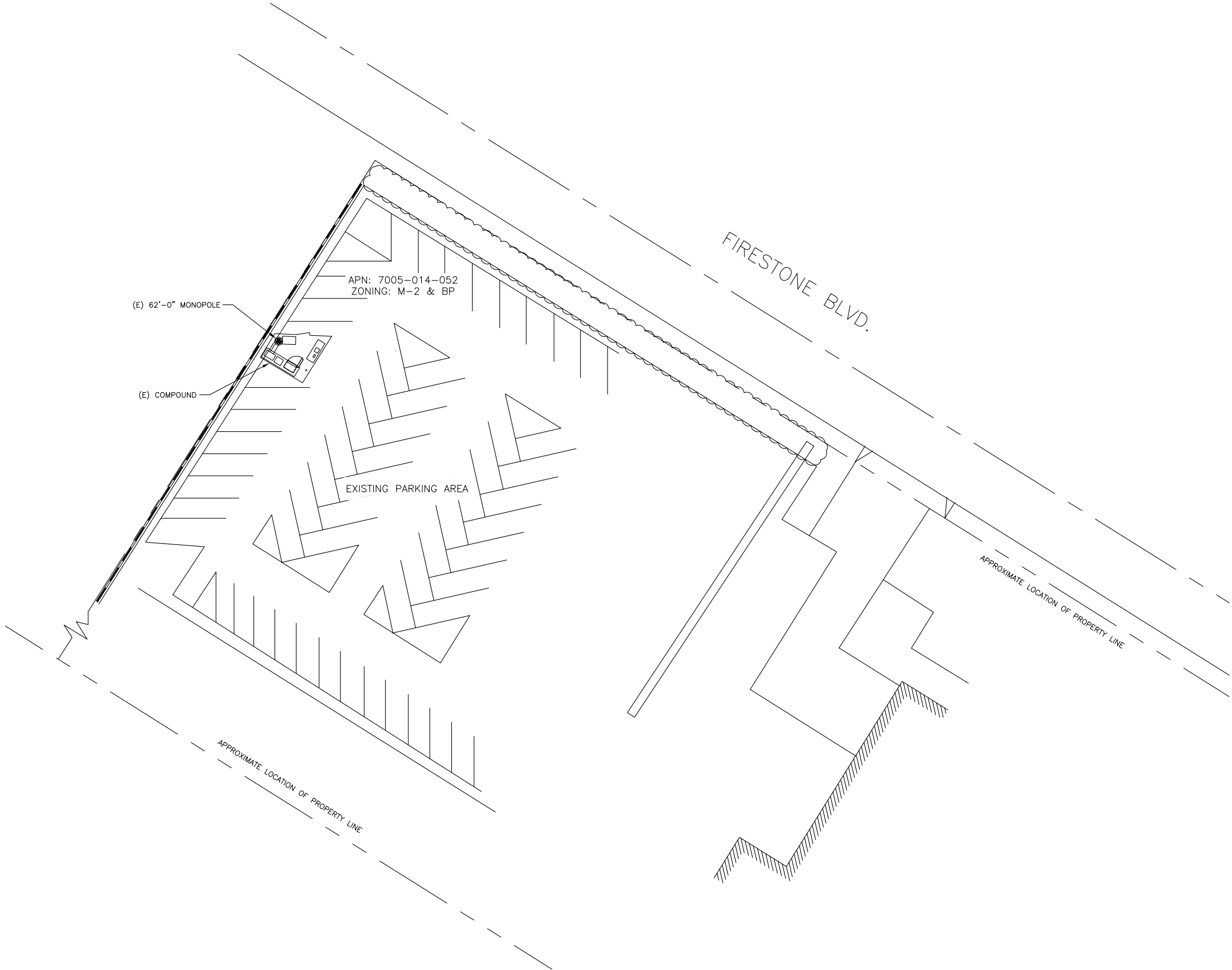
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SITE PLAN DISCLAIMER:

PROPERTY LINES AND STRUCTURES HAVE BEEN DIGITIZED FROM PREVIOUS PLAN SETS OR FROM ASSESSORS MAPS. CROWN CASTLE USA INC. HAS NOT COMPLETED A SITE SURVEY AND THEREFORE MAKES NO CLAIMS AS TO THE ACCURACY OF INFORMATION DEPICTED ON THIS SHEET



1

OVERALL SITE PLAN

SCALE:



1"=20'-0" (FULL SIZE)
1"=40'-0" (11x17)



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CROWN
CASTLE

200 SPECTRUM CENTER DRIVE,
SUITE 1700 & 1800
IRVINE, CA 92618

T-MOBILE SITE NUMBER:
LA02315A

BU #: **828504**
TMT LA315 CIGAR POLE

13700 FIRESTONE BLVD
SANTA FE SPRINGS, CA 90670

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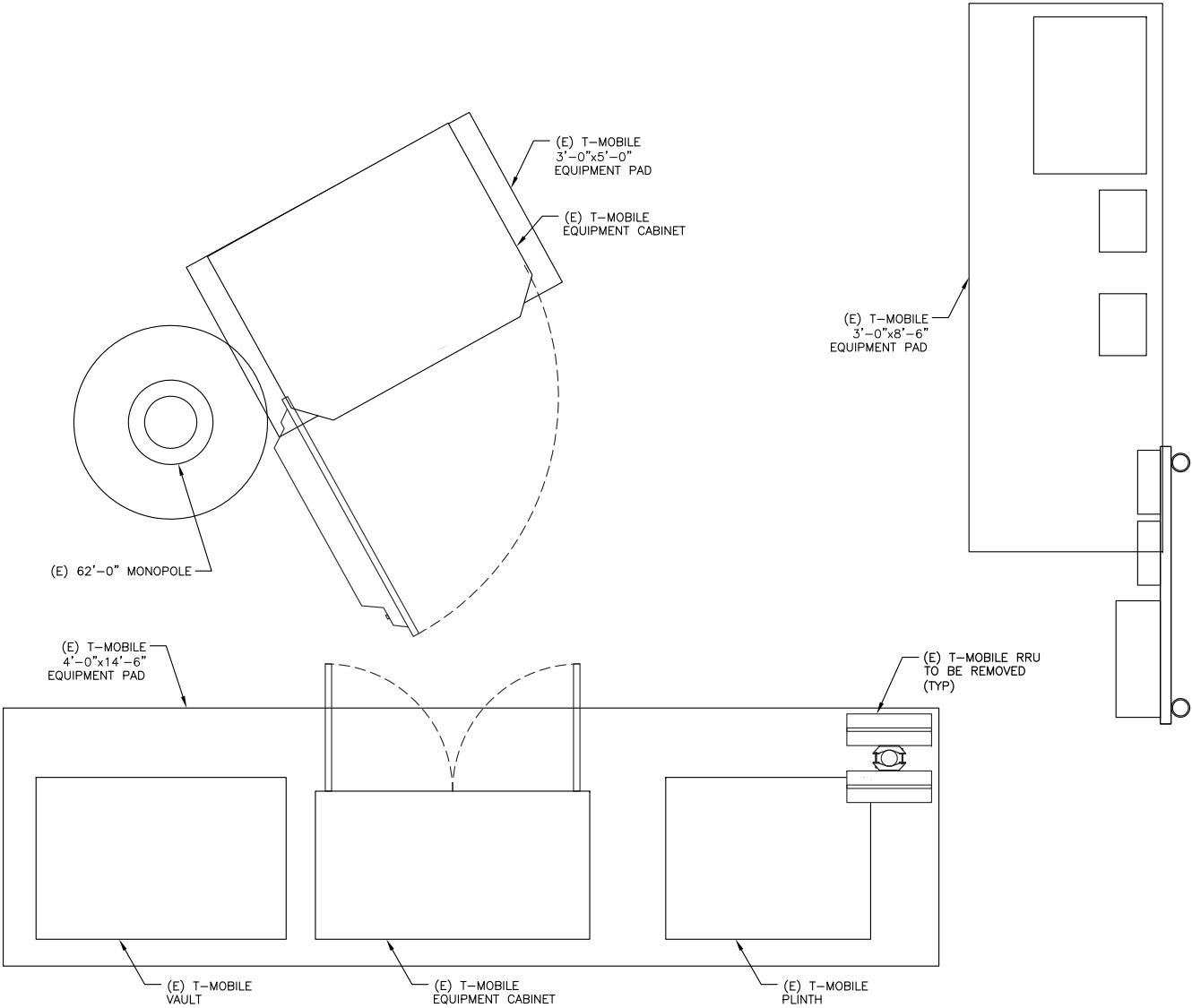
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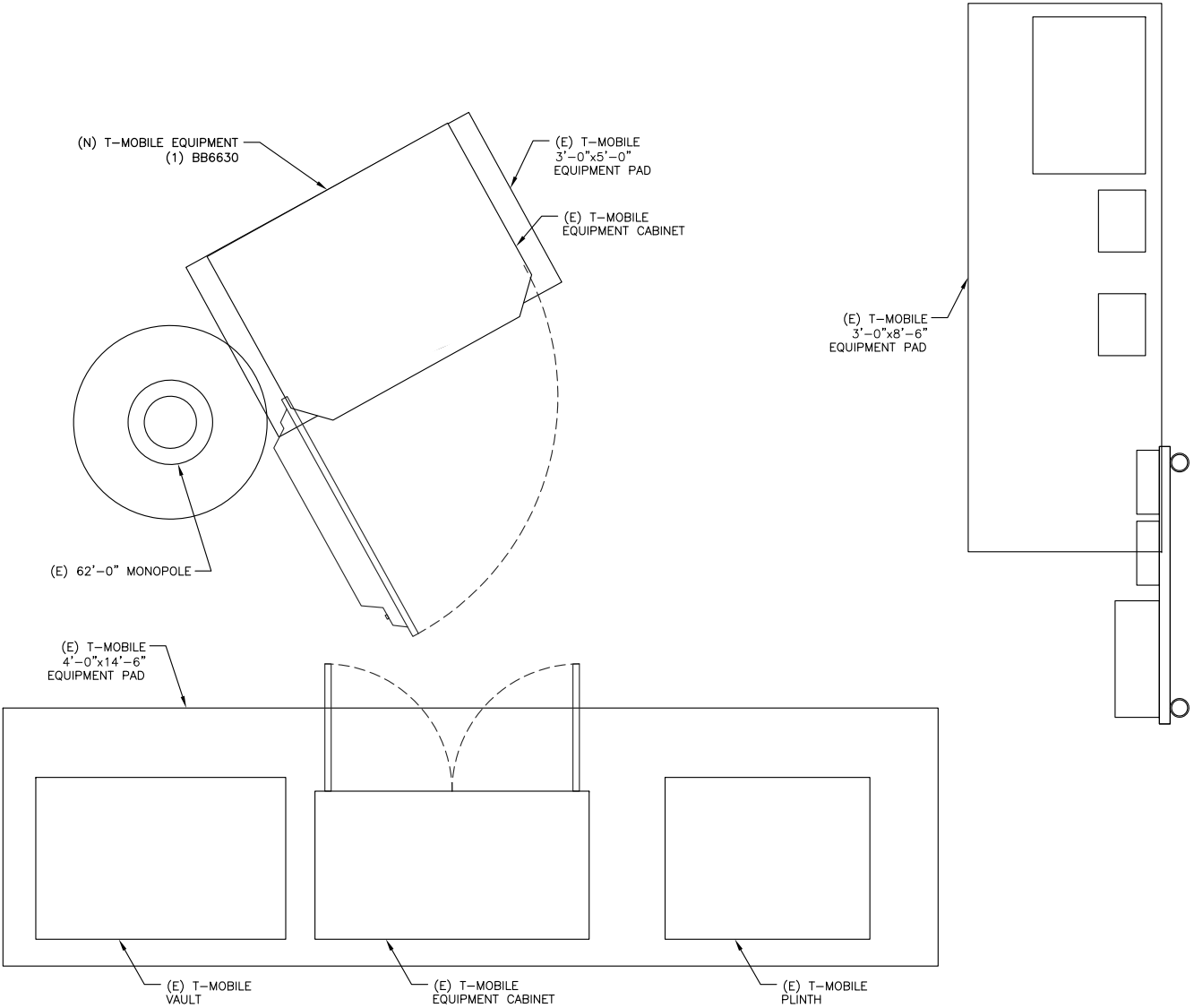
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1 EXISTING EQUIPMENT PLAN

SCALE: 3/4"=1'-0" (FULL SIZE)
3/8"=1'-0" (11x17)



2 NEW EQUIPMENT PLAN

SCALE: 3/4"=1'-0" (FULL SIZE)
3/8"=1'-0" (11x17)

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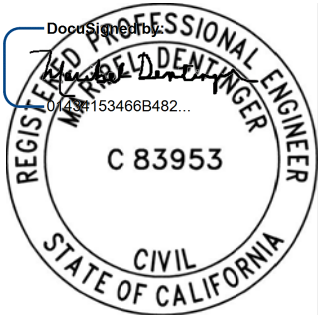
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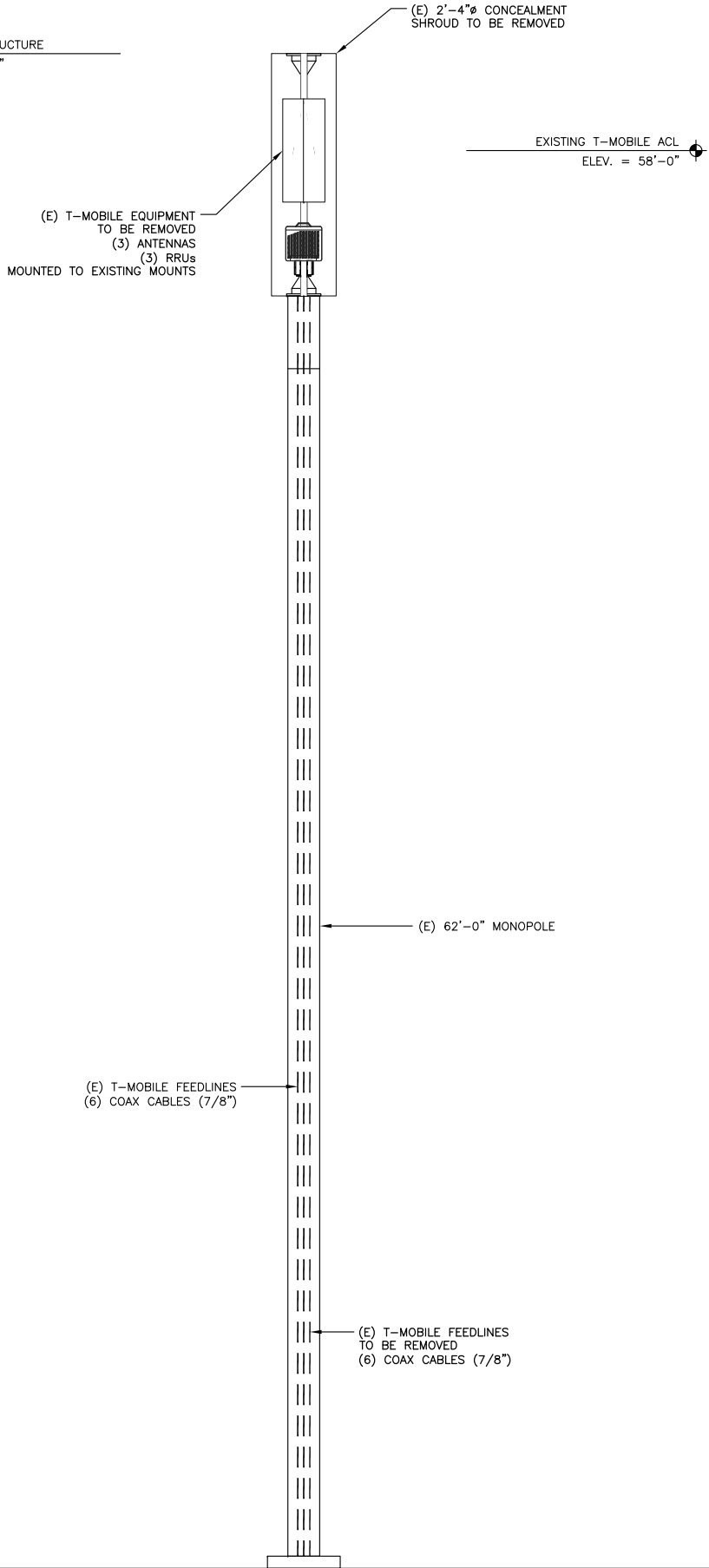
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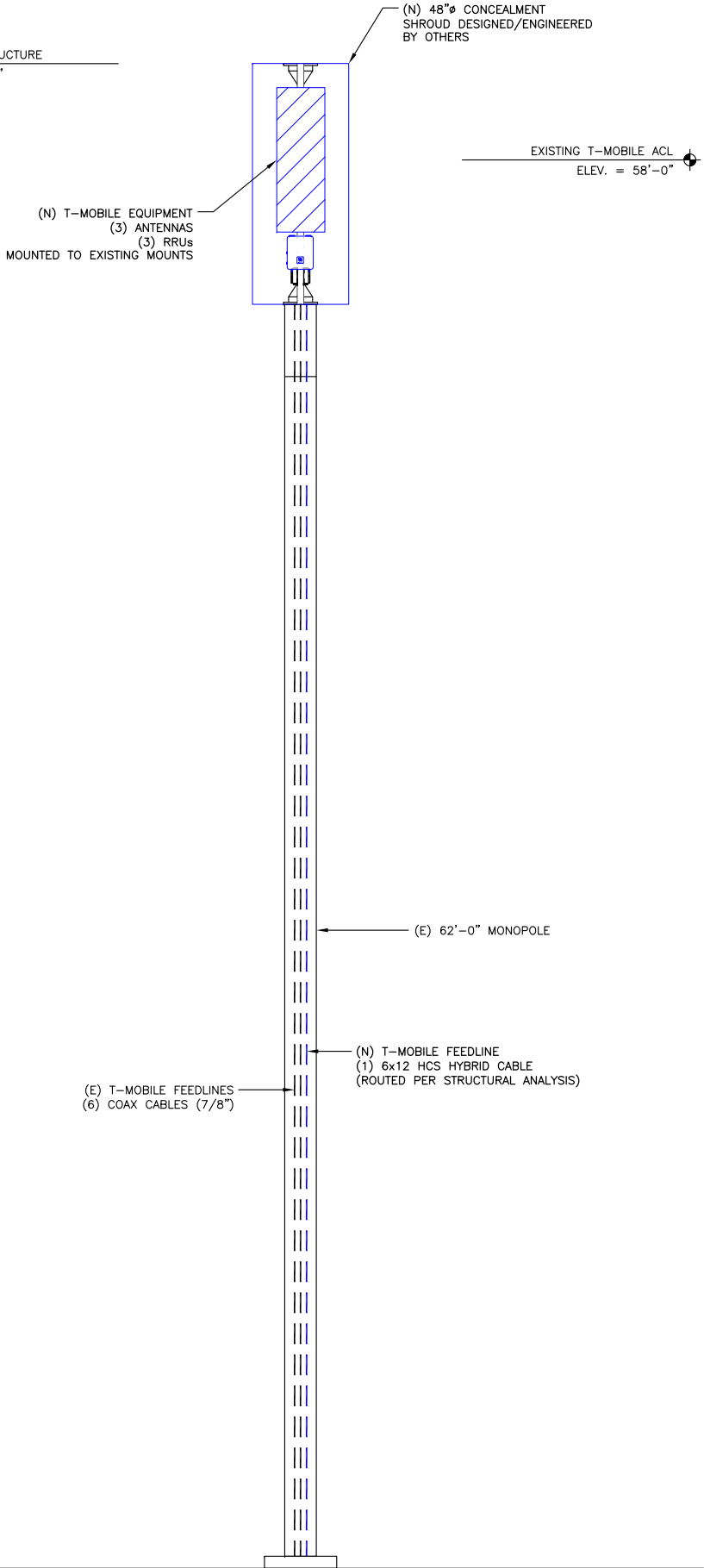
1 EXISTING NORTH ELEVATION
SCALE: NOT TO SCALE

MOUNT ANALYSIS NOTES:

1. THE DESIGN DEPICTED IN THESE DRAWINGS IS VALID WHEN ACCOMPANIED BY A CORRESPONDING PASSING MOUNT ANALYSIS.
2. CONSTRUCTION MANAGER / GENERAL CONTRACTOR SHALL REVIEW THE MOUNT ANALYSIS FOR ANY CONDITIONS PRIOR TO INSTALLATION.
3. ANY REQUIRED MOUNT MODIFICATION DESIGN OR MOUNT REPLACEMENT SHALL BE APPROVED BY EOR.

INSTALLER NOTE:

TOWER DOES NOT HAVE CLIMBING FACILITIES - MANLIFT REQUIRED FOR ELEVATED WORK.



2 NEW NORTH ELEVATION
SCALE: NOT TO SCALE

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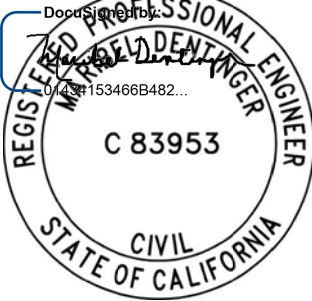
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EXISTING 62'-0" MONOPOLE

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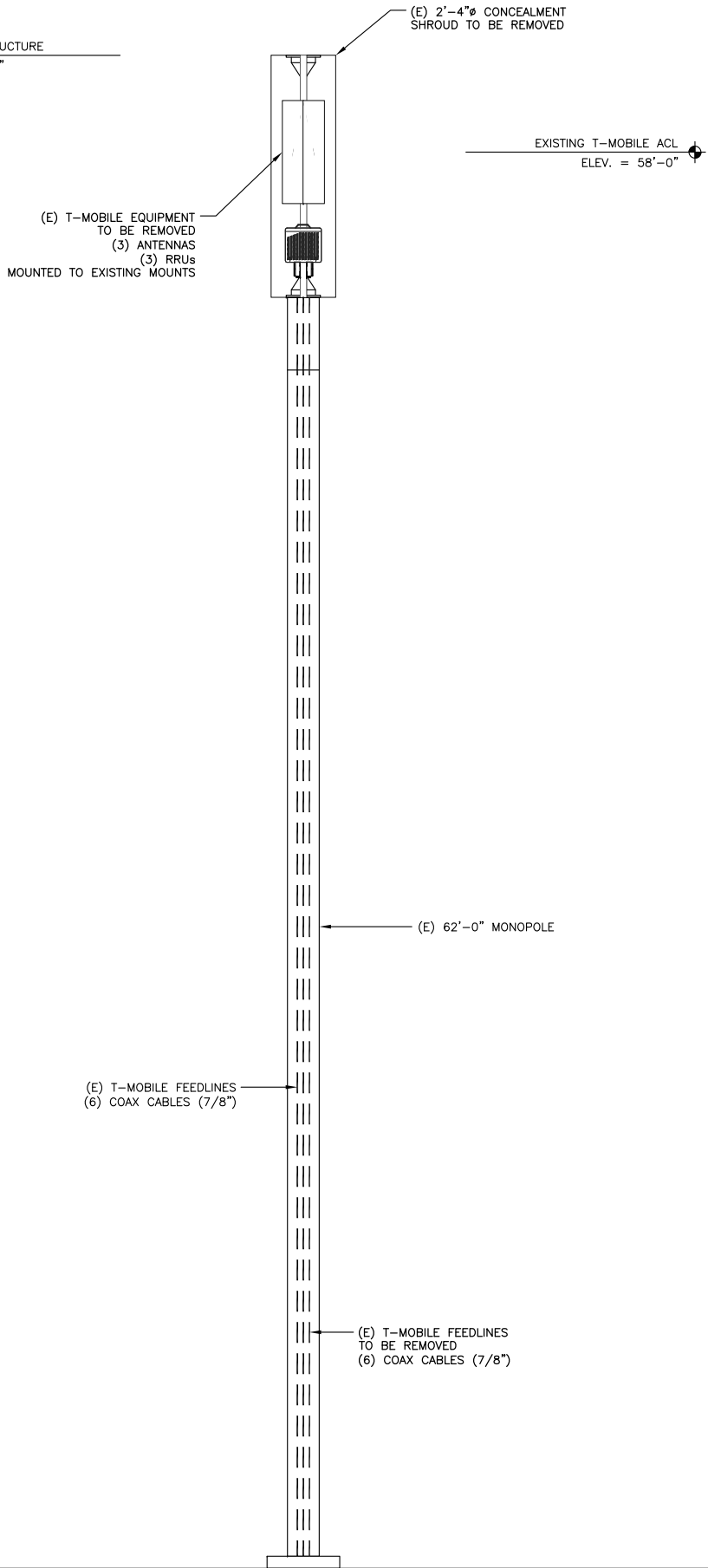
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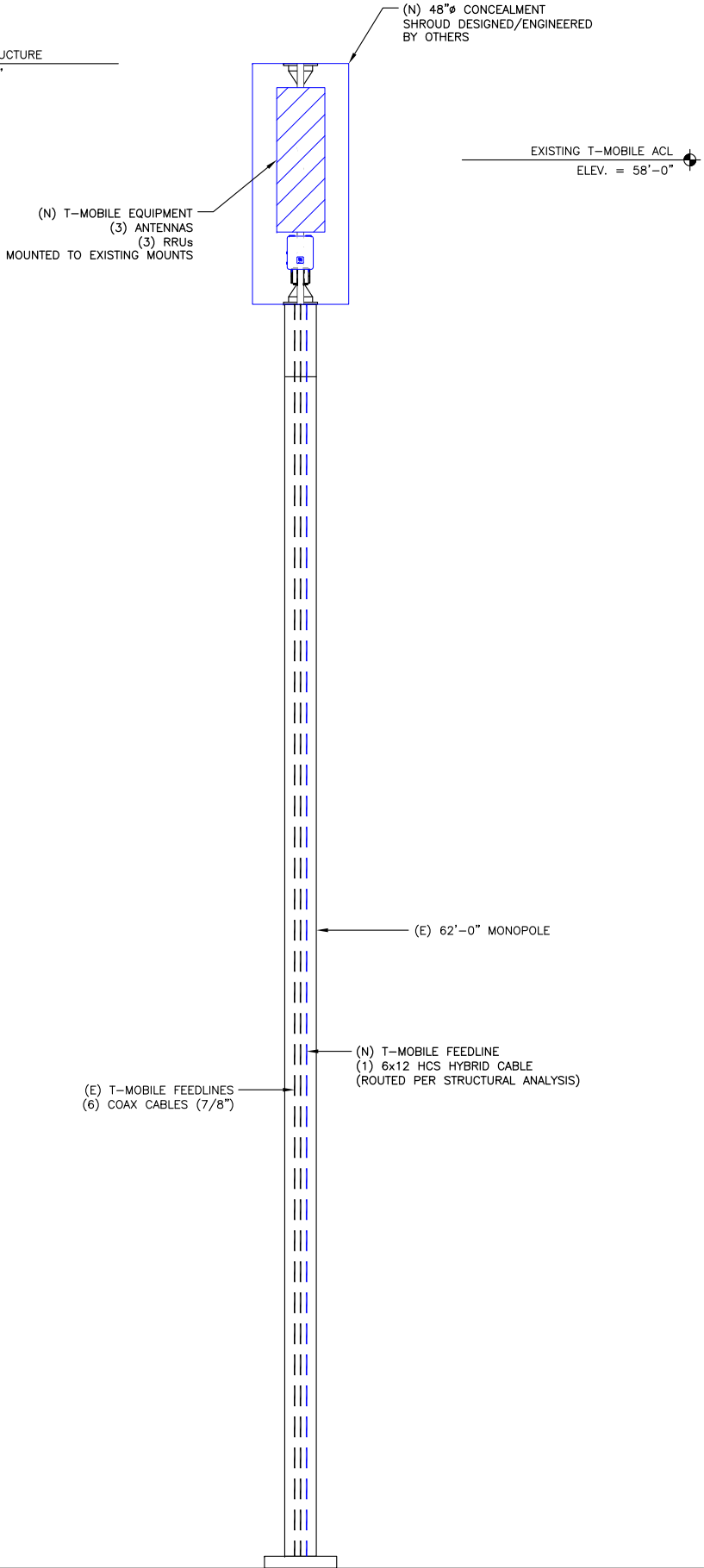


1 EXISTING ELEVATION
SCALE: NOT TO SCALE

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INSTALLER NOTE:

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2 NEW ELEVATION
SCALE: NOT TO SCALE

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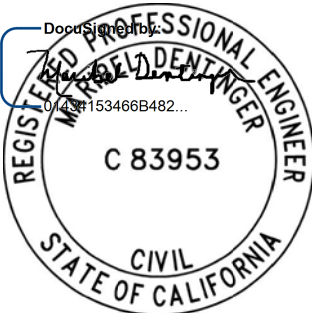
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BU #: **828504**
TMT LA315 CIGAR POLE

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EXISTING 62'-0" MONOPOLE

ISSUED FOR:				
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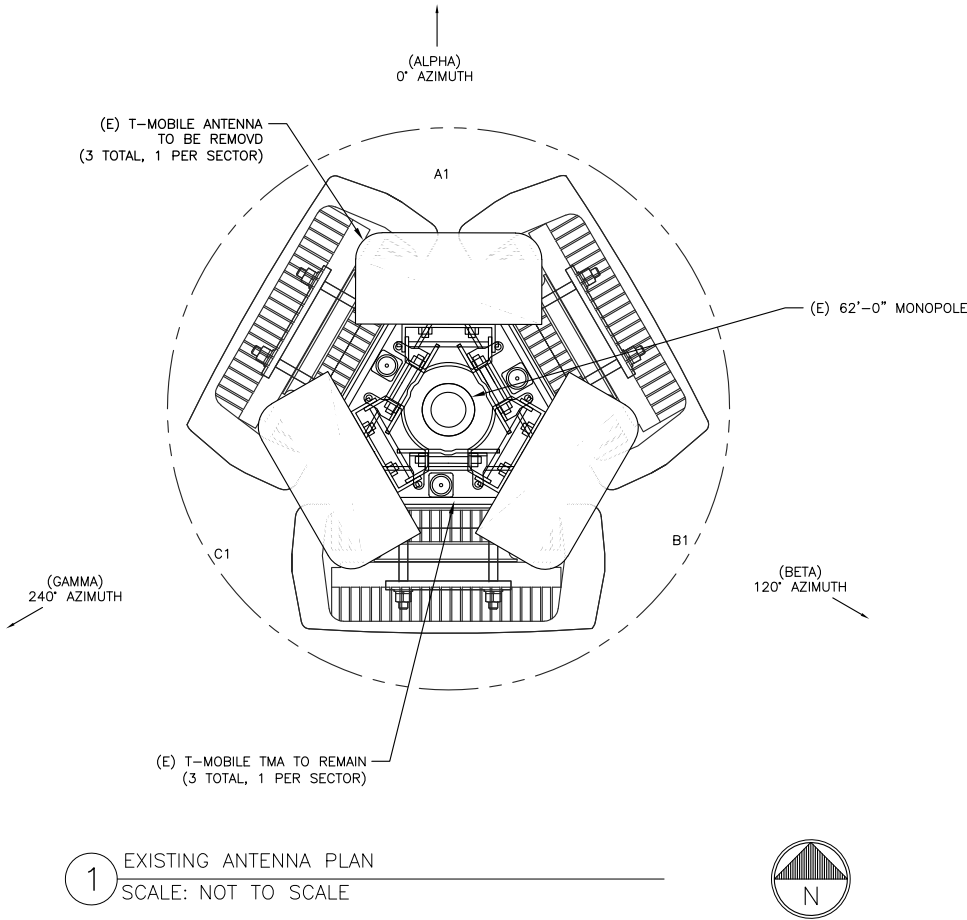


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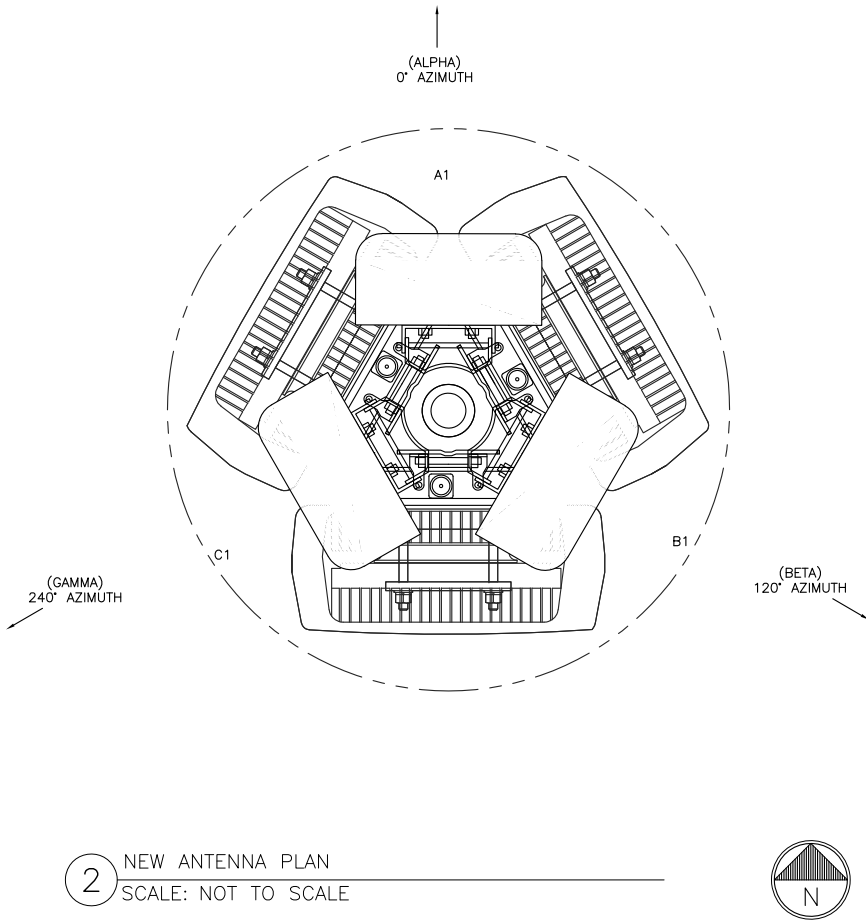
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1 EXISTING ANTENNA PLAN
SCALE: NOT TO SCALE



2 NEW ANTENNA PLAN
SCALE: NOT TO SCALE

"LOOK UP" - CROWN CASTLE USA INC. SAFETY CLIMB REQUIREMENT:

THE INTEGRITY OF THE SAFETY CLIMB AND ALL COMPONENTS OF THE CLIMBING FACILITY SHALL BE CONSIDERED DURING ALL STAGES OF DESIGN, INSTALLATION, AND INSPECTION. TOWER MODIFICATION, MOUNT REINFORCEMENTS, AND/OR EQUIPMENT INSTALLATIONS SHALL NOT COMPROMISE THE INTEGRITY OR FUNCTIONAL USE OF THE SAFETY CLIMB OR ANY COMPONENTS OF THE CLIMBING FACILITY ON THE STRUCTURE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: PINCHING OF THE WIRE ROPE, BENDING OF THE WIRE ROPE FROM ITS SUPPORTS, DIRECT CONTACT OR CLOSE PROXIMITY TO THE WIRE ROPE WHICH MAY CAUSE FRICTIONAL WEAR, IMPACT TO THE ANCHORAGE POINTS IN ANY WAY, OR TO IMPEDE/BLOCK ITS INTENDED USE. ANY COMPROMISED SAFETY CLIMB, INCLUDING EXISTING CONDITIONS MUST BE TAGGED OUT AND REPORTED TO YOUR CROWN CASTLE USA INC. POC OR CALL THE NOC TO GENERATE A SAFETY CLIMB MAINTENANCE AND CONTRACTOR NOTICE TICKET.

- NOTES:**
1. REFERENCE C-4 FOR FINAL EQUIPMENT SCHEDULE.
 2. REFERENCE C-5 FOR NEW EQUIPMENT SPECIFICATIONS.
 3. CONTRACTOR TO VERIFY ALL ANTENNA TIP HEIGHTS DO NOT EXCEED BEACON BASE HEIGHT.
 4. TOWER DOES NOT HAVE CLIMBING FACILITIES - MANLIFT REQUIRED FOR ELEVATED WORK.

- MOUNT ANALYSIS NOTES:**
1. THE DESIGN DEPICTED IN THESE DRAWINGS IS VALID WHEN ACCOMPANIED BY A CORRESPONDING PASSING MOUNT ANALYSIS.
 2. CONSTRUCTION MANAGER / GENERAL CONTRACTOR SHALL REVIEW THE MOUNT ANALYSIS FOR ANY CONDITIONS PRIOR TO INSTALLATION.
 3. ANY REQUIRED MOUNT MODIFICATION DESIGN OR MOUNT REPLACEMENT SHALL BE APPROVED BY EOR.

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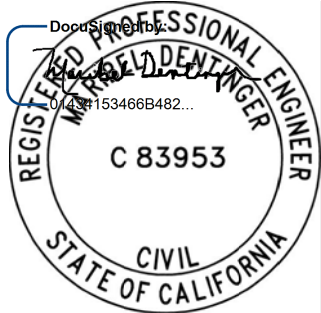
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TMT LA315 CIGAR POLE

13700 FIRESTONE BLVD
SANTA FE SPRINGS, CA 90670

EXISTING 62'-0" MONOPOLE

ISSUED FOR:

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FINAL EQUIPMENT SCHEDULE (VERIFY WITH CURRENT RFDS)																				
ALPHA																				
POSITION	ANTENNA				RADIO			DIPLEXER			TMA		SURGE PROTECTION		CABLES					
	TECH.	STATUS/MANUFACTURER MODEL		AZIMUTH	RAD CENTER	QTY.	STATUS/MODEL		LOCATION	QTY.	STATUS	LOCATION	QTY.	STATUS	QTY.	STATUS/MODEL	QTY.	STATUS/TYPE	SIZE	LENGTH
A1	-	(E) COMMSCOPE DBXNH-6565A-A2M		0°	58'-0"	-	-		-	-	-	1	(E)	-	-	-	4	(E) COAX	7/8"	110'-0"
																	1	(E) RET	1/4"	110'-0"
BETA																				
B1	-	(E) COMMSCOPE DBXNH-6565A-A2M		120°	58'-0"	-	-		-	-	-	1	(E)	-	-	-	4	(E) COAX	7/8"	110'-0"
GAMMA																				
C1	-	(E) COMMSCOPE DBXNH-6565A-A2M		240°	58'-0"	-	-		-	-	-	1	(E)	-	-	-	4	(E) COAX	7/8"	110'-0"
NOTE: (E) - EXISTING (N) - NEW																	0	(E) UNUSED	-	-



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BU #: **828504**
TMT LA315 CIGAR POLE

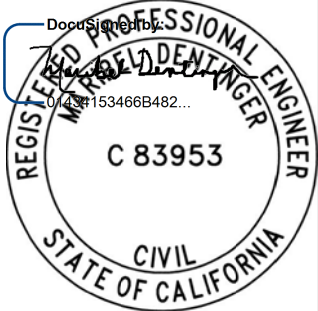
13700 FIRESTONE BLVD
SANTA FE SPRINGS, CA 90670

EXISTING 62'-0" MONOPOLE

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES./QA
A	05/20/19	KB	PRELIMINARY	CWJ
0	07/25/19	JAS	CONSTRUCTION	MD

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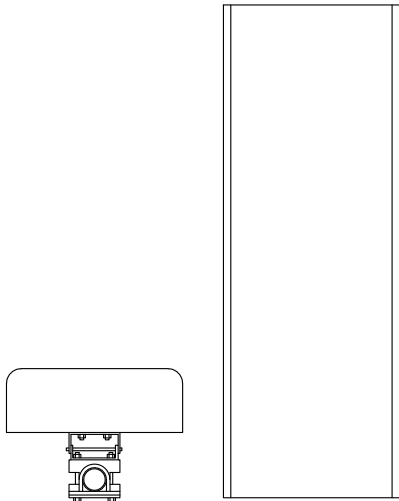


10/11/2019 | 2:58:15 PM EDT

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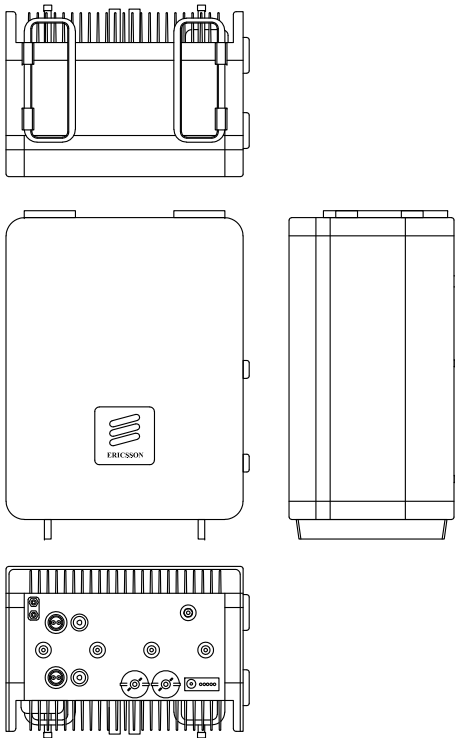
SHEET NUMBER:
C-4

REVISION:
0



RFS/CELWAVE – APXVAARR18_43–U–NA20
WEIGHT (WITHOUT MOUNTING HARDWARE): 106.0 LBS
SIZE (HxWxD): 72.0x24.0x8.5 IN.

1 RFS/CELWAVE – APXVAARR18_43–U–NA20
SCALE: NOT TO SCALE



ERICSSON – RADIO 4449 B12/B71
WEIGHT: 70.0 LBS
SIZE (HxWxD): 18.0x13.2x9.4 IN.

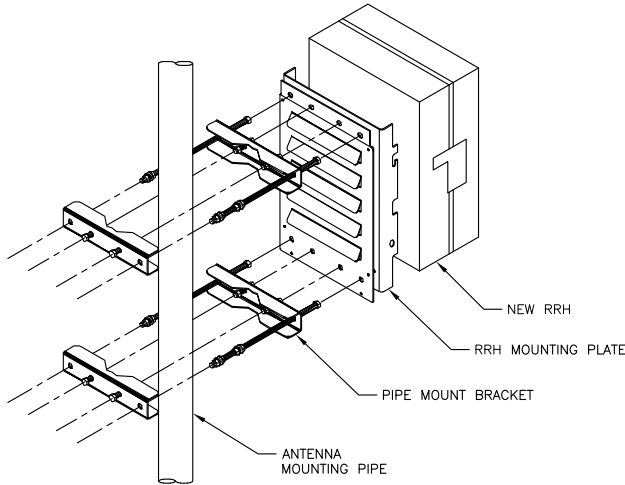
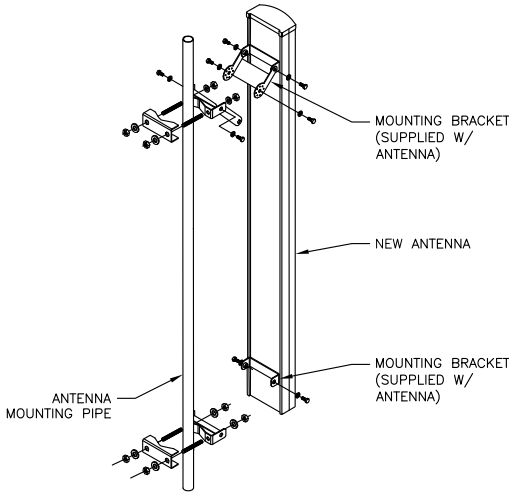
2 ERICSSON – RADIO 4449 B12/B71
SCALE: NOT TO SCALE

3 NOT USED
SCALE: NOT TO SCALE

INSTALLER NOTES:

1. COMPLY WITH MANUFACTURERS INSTRUCTIONS TO ENSURE THAT ALL RRHs RECEIVE ELECTRICAL POWER WITHIN 24 HOURS OF BEING REMOVED FROM THE MANUFACTURER'S PACKAGING.
2. DO NOT OPEN RRH PACKAGES IN THE RAIN.
3. ALL PIPES, BRACKETS, AND MISCELLANEOUS HARDWARE TO BE GALVANIZED UNLESS NOTED OTHERWISE.

NOTE:
ANTENNA NOT SHOWN FOR CLARITY



5 ANTENNA WITH RRH MOUNTING DETAIL
SCALE: NOT TO SCALE

4 NOT USED
SCALE: NOT TO SCALE

T-Mobile

3257 EAST GUASTI ROAD, SUITE 200
ONTARIO, CA 91764

CROWN
CASTLE

200 SPECTRUM CENTER DRIVE,
SUITE 1700 & 1800
IRVINE, CA 92618

T-MOBILE SITE NUMBER:
LA02315A

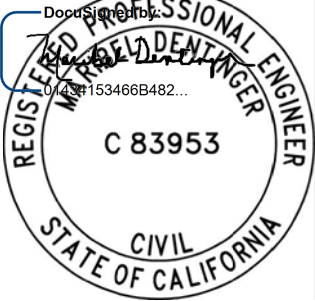
BU #: 828504
TMT LA315 CIGAR POLE

13700 FIRESTONE BLVD
SANTA FE SPRINGS, CA 90670

EXISTING 62'-0" MONOPOLE

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES./QA
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0	07/25/19	JAS	CONSTRUCTION	MD



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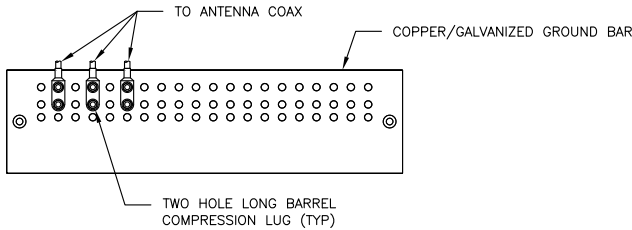
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SHEET NUMBER:

C-5

REVISION:

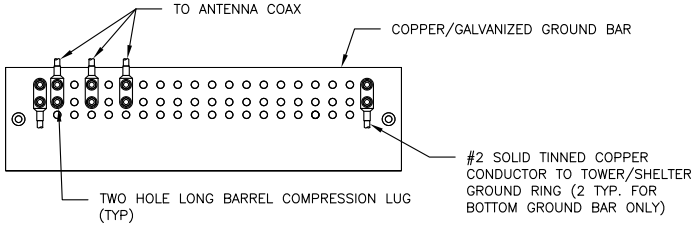
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NOTES:

1. DOUBLING UP "OR STACKING" OF CONNECTIONS IS NOT PERMITTED.
2. EXTERIOR ANTIOXIDANT JOINT COMPOUND TO BE USED ON ALL EXTERIOR CONNECTIONS.
3. GROUND BAR SHALL NOT BE ISOLATED FROM TOWER. MOUNT DIRECTLY TO TOWER STEEL.

1 ANTENNA GROUND BAR DETAIL
SCALE: NOT TO SCALE

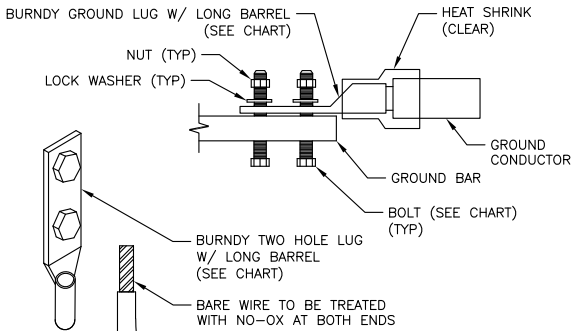


NOTES:

1. EXTERIOR ANTIOXIDANT JOINT COMPOUND TO BE USED ON ALL EXTERIOR CONNECTIONS.
2. GROUND BAR SHALL NOT BE ISOLATED FROM TOWER. MOUNT DIRECTLY TO TOWER STEEL (TOWER ONLY).
3. GROUND BAR SHALL BE ISOLATED FROM BUILDING OR SHELTER.

2 TOWER/SHELTER GROUND BAR DETAIL
SCALE: NOT TO SCALE

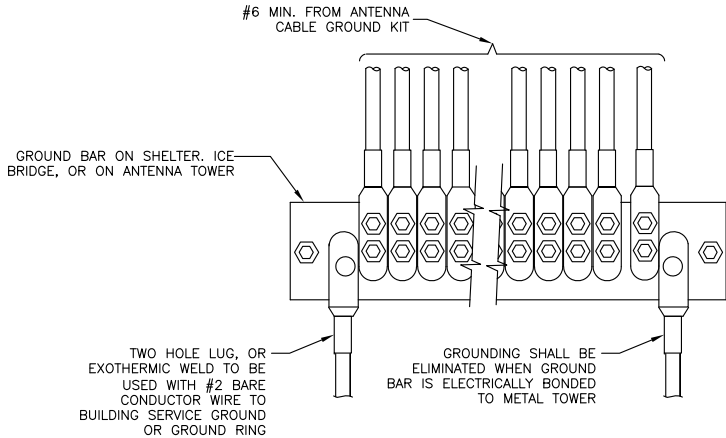
WIRE SIZE	BURNDY LUG	BOLT SIZE
#6 GREEN INSULATED	YA6C-2TC38	3/8" - 16 NC SS 2 BOLT
#2 SOLID TINNED	YA3C-2TC38	3/8" - 16 NC SS 2 BOLT
#2 STRANDED	YA2C-2TC38	3/8" - 16 NC SS 2 BOLT
#2/0 STRANDED	YA26-2TC38	3/8" - 16 NC SS 2 BOLT
#4/0 STRANDED	YA28-2N	1/2" - 16 NC SS 2 BOLT



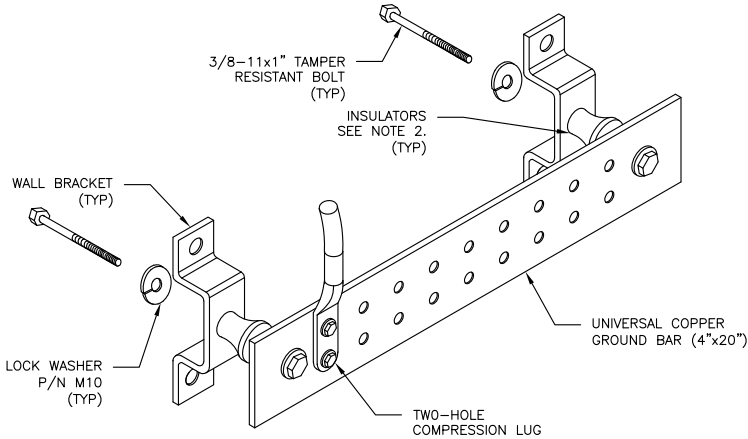
NOTE:

ALL GROUNDING LUGS ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. ALL HARDWARE BOLTS, NUTS, LOCK WASHERS SHALL BE STAINLESS STEEL. ALL HARDWARE ARE TO BE AS FOLLOWS: BOLT, FLAT WASHER, GROUND BAR, GROUND LUG, FLAT WASHER AND NUT.

3 MECHANICAL LUG CONNECTION
SCALE: NOT TO SCALE



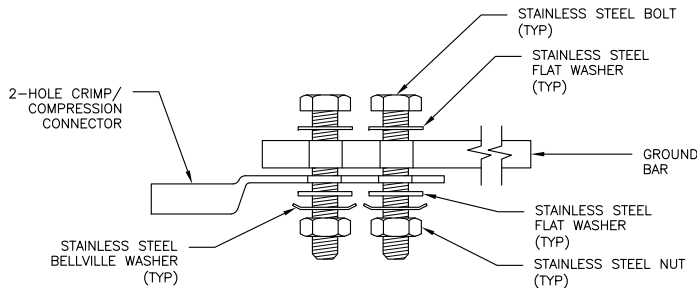
4 GROUNDWIRE INSTALLATION
SCALE: NOT TO SCALE



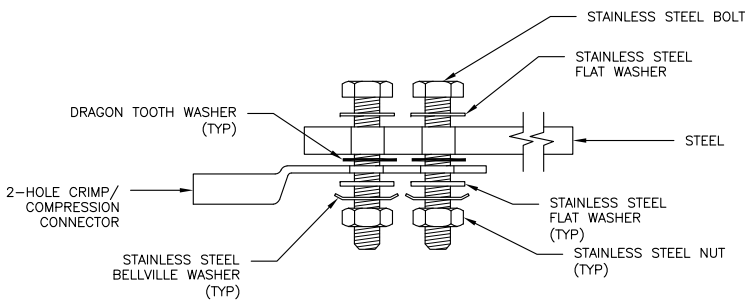
NOTES:

1. DOWN LEAD (HOME RUN) CONDUCTORS ARE NOT TO BE INSTALLED ON CROWN CASTLE USA INC. TOWER, PER THE GROUNDING DOWN CONDUCTOR POLICY GAS-STD-10091. NO MODIFICATION OR DRILLING TO TOWER STEEL IS ALLOWED IN ANY FORM OR FASHION, CAD-WELDING ON THE TOWER AND/OR IN THE AIR ARE NOT PERMITTED.
2. OMIT INSULATOR WHEN MOUNTING TO TOWER STEEL OR PLATFORM STEEL. USE INSULATORS WHEN ATTACHING TO BUILDING OR SHELTERS.

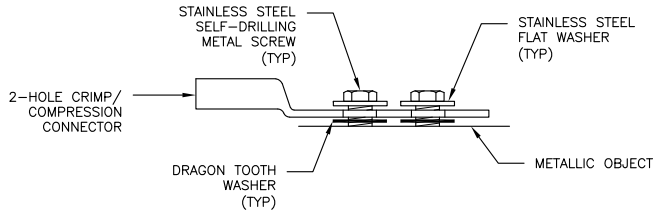
5 GROUND BAR DETAIL
SCALE: NOT TO SCALE



SINGLE CONNECTOR AT GROUND BARS

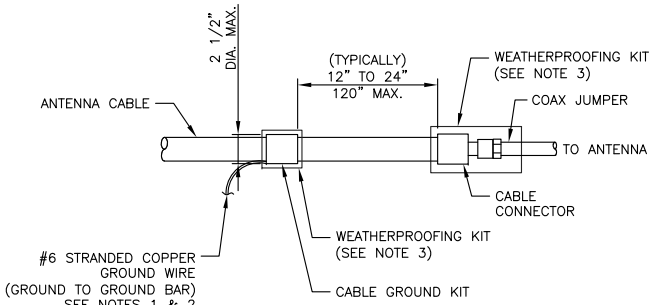


SINGLE CONNECTOR AT STEEL OBJECTS



SINGLE CONNECTOR AT METALLIC/STEEL OBJECTS

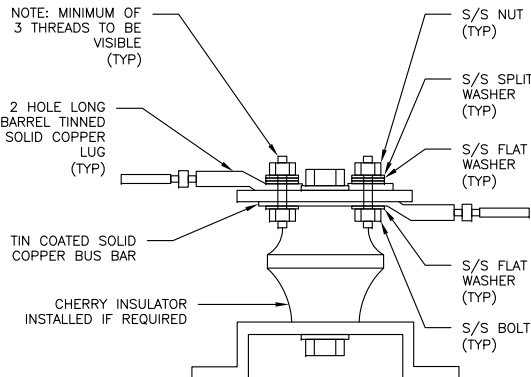
8 HARDWARE DETAIL FOR EXTERIOR CONNECTIONS
SCALE: NOT TO SCALE



NOTES:

1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
2. GROUNDING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.
3. WEATHER PROOFING SHALL BE TWO-PART TAPE KIT, COLD SHRINK SHALL NOT BE USED.

6 CABLE GROUND KIT CONNECTION
SCALE: NOT TO SCALE



7 LUG DETAIL
SCALE: NOT TO SCALE

T-Mobile

3257 EAST GUASTI ROAD, SUITE 200
ONTARIO, CA 91764

CROWN CASTLE
200 SPECTRUM CENTER DRIVE,
SUITE 1700 & 1800
IRVINE, CA 92618

T-MOBILE SITE NUMBER:
LA02315A

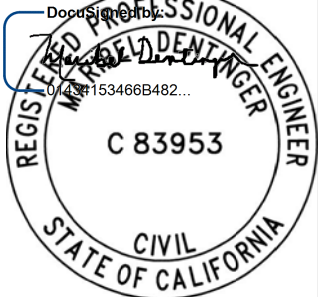
BU #: 828504
TMT LA315 CIGAR POLE

13700 FIRESTONE BLVD
SANTA FE SPRINGS, CA 90670

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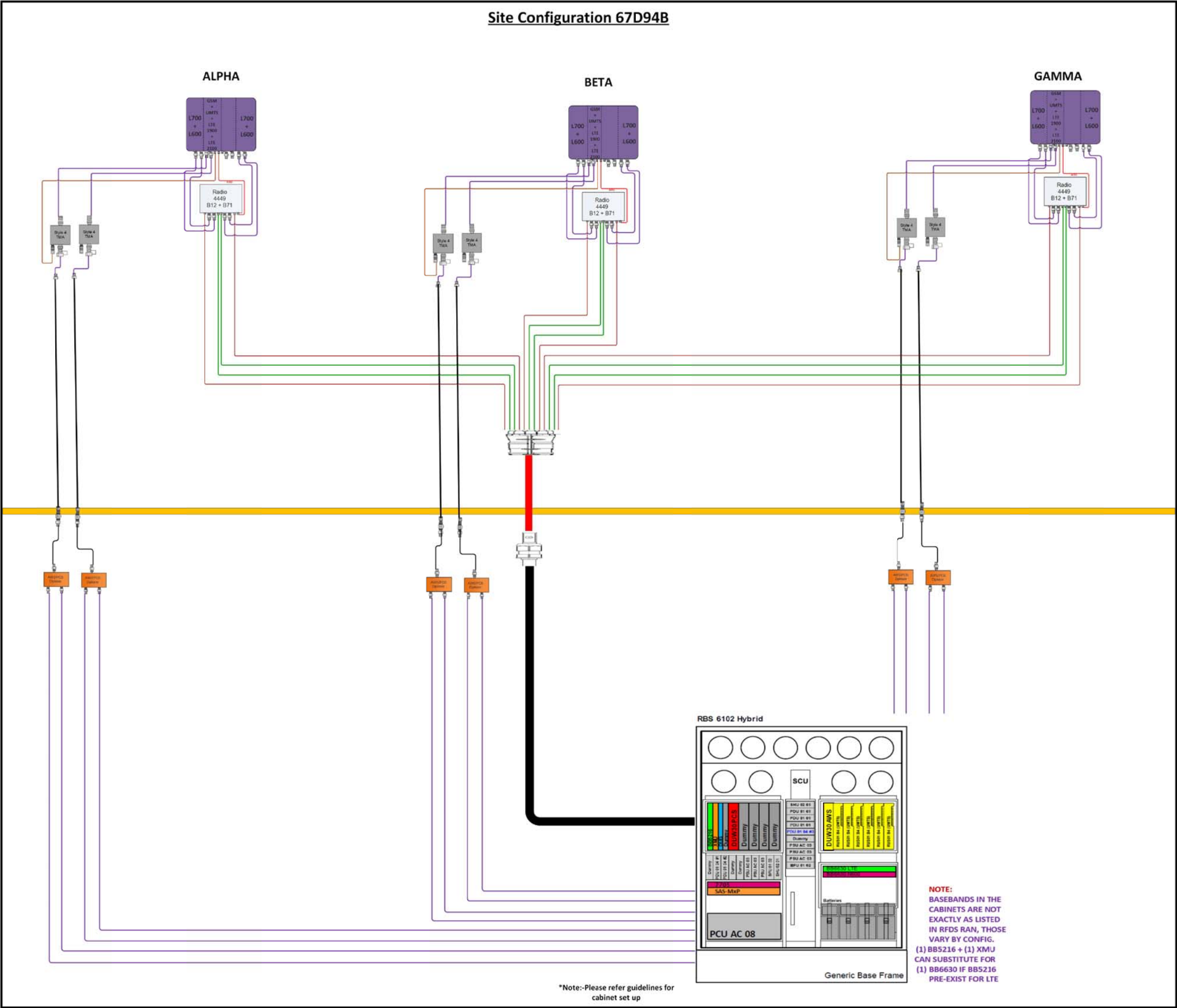
G-1

REVISION:

0

LA02315A_Proposed.jpg

Site Configuration 67D94B



Notes:

*Note:-Please refer guidelines for cabinet set up

Certificate Of Completion

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Source Envelope:	
Document Pages: 11	Signatures: 10
Certificate Pages: 4	Initials: 0
AutoNav: Enabled	Envelope Originator:
Envelopeld Stamping: Enabled	Whitney Sealover
Time Zone: (UTC-05:00) Eastern Time (US & Canada)	2000 Corporate Drive
	Canonsburg, PA 15317
	Whitney.Sealover@crowncastle.com
	IP Address: 64.213.130.241

Record Tracking

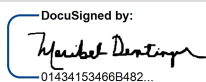
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10/11/2019 2:50:49 PM	Whitney.Sealover@crowncastle.com	

Signer Events

Maribel Dentinger
maribel.dentinger@crowncastle.com
Crown Castle International Corp.

Security Level: Email, Account Authentication
(None)

Signature

DocuSigned by:

01434153466B482...

Signature Adoption: Drawn on Device
Using IP Address: 64.213.130.241

Timestamp

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Viewed: 10/11/2019 2:54:29 PM
Signed: 10/11/2019 2:58:15 PM

Electronic Record and Signature Disclosure:

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In Person Signer Events

Signature

Timestamp

Editor Delivery Events

Status

Timestamp

Agent Delivery Events

Status

Timestamp

Intermediary Delivery Events

Status

Timestamp

Certified Delivery Events

Status

Timestamp

Carbon Copy Events

Status

Timestamp

Casey Kaczmarek
Casey.Kaczmarek@crowncastle.com
Crown Castle International Corp.

Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

Not Offered via DocuSign

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Witness Events

Signature

Timestamp

Notary Events

Signature

Timestamp

Envelope Summary Events

Status

Timestamps

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Completed	Security Checked	10/11/2019 2:58:15 PM

Payment Events	Status	Timestamps
Electronic Record and Signature Disclosure		

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Consequences of withdrawing consent to receive and/or execute documents electronically

If you elect to receive documents for execution and various other documents and other records only in paper format, it will slow the speed at which we can complete the subject transactions because of the increased delivery time.

Documents for execution, and other documents and records may be sent to you electronically

Unless you tell us otherwise in accordance with the procedures described herein, we may provide documents for execution, and other documents and records electronically to you through the DocuSign system during the course of our relationship with you. To reduce the chance of you inadvertently not receiving any document for execution or other document or record, we prefer to provide all documents for execution, and other documents and records by the same method and to the same address that you have given us. If you do not agree with this process, please let us know as described below.

How to contact Crown Castle

You may contact us to let us know of any changes related to contacting you electronically, to request paper copies of documents for execution and other documents and records from us, and to withdraw your prior consent to receive documents for execution and other documents and records electronically as follows:

To contact us by phone call: 724-416-2000

To contact us by email, send messages to: esignature@CrownCastle.com

To contact us by paper mail, send correspondence to

Crown Castle
2000 Corporate Drive
Canonsburg, PA 15317

To advise Crown Castle and DocuSign of your new e-mail address

To let us know of a change to the e-mail address where we should send documents for execution and other documents and records to you, you must send an email message to esignature@CrownCastle.com and state your previous e-mail address and your new e-mail address.

In addition, you must notify DocuSign, Inc. to arrange for your new email address to be reflected in your DocuSign account by following the process for changing e-mail in the DocuSign system.

Required hardware and software

Browsers:	Internet Explorer® 11 (Windows only); Windows Edge Current Version; Mozilla Firefox Current Version; Safari™ (Mac OS only) 6.2 or above; Google Chrome Current Version; Note : Pre-release (e.g., beta) versions of operating systems and browsers are not supported.
Mobile Signing:	Apple iOS 7.0 or above; Android 4.0 or above
PDF Reader:	Acrobat® Reader or similar software may be required to view and print PDF files
Screen Resolution:	1024 x 768

Enabled Security Settings:	Allow per session cookies
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These minimum requirements are subject to change. If these requirements change, you will be asked to re-accept the disclosure. Pre-release (e.g. beta) versions of operating systems and browsers are not supported.

Acknowledging your access and consent to receive documents electronically

Please confirm that you were able to access this disclosure electronically (which is similar to the manner in which we will deliver documents for execution and other documents and records) and that you were able to print this disclosure on paper or electronically save it for your future reference and access or that you were able to e-mail this disclosure to an address where you will be able to print it on paper or save it for your future reference and access. Further, if you consent to receiving documents for execution and other documents and records in electronic format on the terms described above, please let us know by clicking the “I agree” button below.

By checking the 'I agree' box, I confirm that:

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City of Santa Fe Springs

Planning Commission Meeting

January 13, 2020

PUBLIC HEARING

Categorically Exempt - CEQA Guidelines Section 15301, Class 1

Conditional Use Permit Case No. 541-3

A request for a ten-year extension of Wireless Telecommunications Facility Conditional Use Permit Case No. 541-3, an existing 71'-tall stealth wireless telecommunications facility located at 11015 Bloomfield Avenue (APN:8025-002-023) in the M-2, Heavy Manufacturing, Zone. (SBA Towers VIII, LLC)

RECOMMENDATIONS

- Open the Public Hearing and receive any comments from the public regarding Conditional Use Permit Case No. 541-3 and thereafter, close the Public Hearing; and
- Find and determine that the proposed project will not be detrimental to persons or properties in the surrounding area or to the City in general, and will be in conformance with the overall purpose and objective of the Zoning Ordinance and will be consistent with the goals, policies and programs of the City's General Plan; and
- Find that the applicant's CUP request meets the criteria set forth in §155.716 of the Zoning Ordinance for the granting of a Conditional Use Permit; and
- Find and determine that pursuant to Section 15301, Class 1 (Existing Facilities), of the California Environmental Quality Act (CEQA), this project is Categorically Exempt; and
- Approve Conditional Use Permit Case No. 541-3, subject to the conditions of approval as contained within Resolution No. 149-2020; and
- Adopt Resolution No. 149-2020, which incorporates the Planning Commission's findings and actions regarding this matter.

GENERAL INFORMATION

- A. Applicant: Virtual Site Walk, LLC
Attn: Nicole Comach
1533 SE 33rd
Portland, OR 97214
- B. Facility Owner: SBA Towers VIII, LLC
Attn: Mary Graydon
8051 Congress Ave.
Boca Raton, FL 33487
- C. Wireless Carrier: Sprint
Attn: Mary Graydon

Report Submitted By: Laurel Reimer

Planning and Development Department

Date of Report: January 2, 2020

ITEM NO. 7

- 8051 Congress Ave.
Boca Raton, FL 33487
- D. Property Owner: LA Center for Alcohol and Drug Abuse
11015 Bloomfield Avenue
Santa Fe Springs, CA 90670
- E. Subject Property: 11015 Bloomfield Avenue
Santa Fe Springs, CA 90670
APN: 8025-002-023
- F. Existing Zone: M-2, Heavy Manufacturing
- G. General Plan: Industrial
- H. CEQA Status: Categorically Exempt (Class 1)
- I. Hearing Date: January 13, 2020
- J. Staff Contact: Laurel Reimer, Planning Consultant
laurelreimer@santafesprings.org

LOCATION AND BACKGROUND

CUP 541 was first approved on May 27, 1997 to allow Nextel to construct an approximately 70'-tall stealth wireless telecommunications facility within an approximately 1,150 sq. ft. lease area along the western property line of the LA Center for Alcohol and Drug Abuse. Nextel later merged with Sprint in 2005. CUP 541 went back before the Planning Commission on August 13, 2007 and December 14, 2009 to extend the permit term and allow for various equipment upgrades, respectively.

Today, the 39'-6" x 29'-1" lease area contains a 71'-tall stealth tower that measures 15'-4" x 23' at the base and narrows to 15'-4" x 15'-4" as the tower extends above approximately 15' in elevation. The entire lease area is enclosed by a 6'-tall wrought iron fence. Sprint currently has antennas and a microwave dish installed within the tower at a 61'-2" centerline. T-Mobile was approved via Administrative Wireless Telecommunications Facility Permit Case No. 2017-01 to co-locate antennas at a 51' centerline and install equipment cabinets behind the stealth tower; however, they have not completed the co-location. Should T-Mobile choose to complete the co-location, they are conditioned to replace the existing fence surrounding the facility with an 8'-tall wrought iron fence with perforated metal sheet screening to fully screen their equipment from view. Project plans for T-Mobile's co-location are provided as Attachment 6.

Prior to bringing CUP 541 back before the Planning Commission, Planning staff conducted a site inspection and required the following items to be remedied:

1. Clean, repaint, and/or replace the tower's siding to ensure consistent coloring throughout.
2. Clean the debris and plant material dispersed throughout the lease area.

The applicant completed the above mentioned items, which brought the site back into compliance with the original conditions of approval. See Attachment 4 for before and after photos.

STREETS AND HIGHWAYS

The property has frontages on Bloomfield Avenue to the east and Lakeland Road to the north. Bloomfield Avenue is considered a major highway and Lakeland Road is a secondary highway within the Circulation Element of the general plan.

ZONING & GENERAL PLAN LAND USE DESIGNATION

The subject property, as well as the surrounding properties to the north, east, west, and south are zoned M-2 Heavy Manufacturing with a General Plan land use designation of Industrial.

LEGAL NOTICE OF PUBLIC HEARING

This matter was set for Public Hearing in accordance with the requirements of Sections 65090 and 65091 of the State Planning, Zoning and Development Laws and the requirements of Sections 155.860 through 155.864 of the City's Municipal Code.

Legal notice of the Public Hearing for the proposed project was sent by first class mail on December 18, 2019 to all property owners whose names and addresses appear on the latest County Assessor's Roll within 500 feet of the exterior boundaries of the subject property. The legal notice was also posted in Santa Fe Springs City Hall, the City Library and the City's Town Center kiosk on December 18, 2019, and published in a newspaper of general circulation (Whittier Daily News) on December 26, 2019 as required by the State Zoning and Development Laws and by the City's Zoning Regulations. As of the date of this report, staff has not received any comments and/or inquiries regarding the proposed project.

ZONING REQUIREMENTS

Section 157.04 of the municipal code requires that all wireless telecommunications facilities have a valid conditional use permit. The procedures set forth in Section 155.711 of the Zoning Ordinance state that the purpose of the conditional use permit is to allow proper integration of uses into the community which may only be suitable in specific locations or only if such uses are designed or constructed in a particular manner on the site, and under certain conditions. A conditional use permit may be granted only for uses listed as conditional uses in the various zones, and for such other uses as are set forth in other provisions of this chapter as requiring said permit.

ENVIRONMENTAL DOCUMENT

Staff finds that the wireless telecommunications facility conditional use permit extension meets the criteria for a Categorical Exemption pursuant to the California Environmental Quality Act (CEQA), Section 15301, Class 1 (Existing Facilities) because the facility is existing and there will be no expansion of the site. Consequently, no further environmental documents are required.

AUTHORITY OF PLANNING COMMISSION

The Planning Commission has the authority, subject to the procedures set forth in the City's Zoning Ordinance, to grant a conditional use permit when it has been found that said approval is consistent with the requirements, intent and purpose of the City's Zoning Ordinance. The Commission may grant, conditionally grant or deny a conditional use permit based on the evidence submitted and its own study and knowledge of the circumstances. All conditions of approval shall: be binding upon the applicants, their successors and assigns; run with the land; limit and control the issuance and validity of certificates of occupancy; and restrict and limit the construction, location, use and maintenance of all land and structures within the development.

STAFF CONSIDERATIONS

Based on the findings set forth within Resolution 149-2020 (see Attachment 5), staff finds that the applicant's request meets the criteria set forth in §155.716 for the granting of a Conditional Use Permit. Therefore, staff recommends approval of Conditional Use Permit Case No. 541-3, subject to the conditions of approval as provided within Exhibit A of Resolution 149-2020.



Wayne M. Morrell
Director of Planning

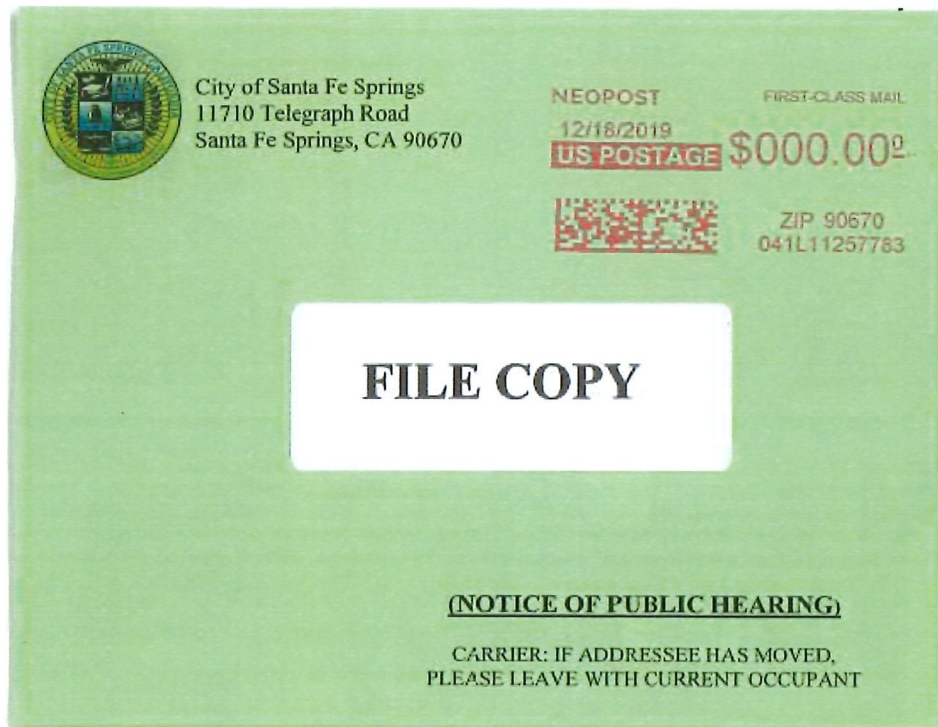
Attachments:

1. Aerial Photograph
2. Public Hearing Notice
3. Radius Map
4. Site Photos
5. Resolution 149-2020
 - a. Exhibit A – Conditions of Approval
6. T-Mobile Co-location Project Plans

Attachment 1: Aerial Photograph



**CUP 541-3
11015 Bloomfield Avenue
SBA Towers VIII, LLC**

Attachment 2: Public Hearing Notice

**CITY OF SANTA FE SPRINGS
NOTICE OF PUBLIC HEARING
TO PROPERTY OWNERS WITHIN 500 FEET**

NOTICE IS HEREBY GIVEN that the Santa Fe Springs Planning Commission will conduct a public hearing at a regular meeting on **Monday, January 13, 2020** at 6:00 p.m. in the Council Chambers of City Hall located at 11710 Telegraph Road on the following matter:

CONDITIONAL USE PERMIT CASE NO. 541-3: A request to allow the continued operation and maintenance of an unmanned wireless telecommunications facility (71'-tall stealth tower).

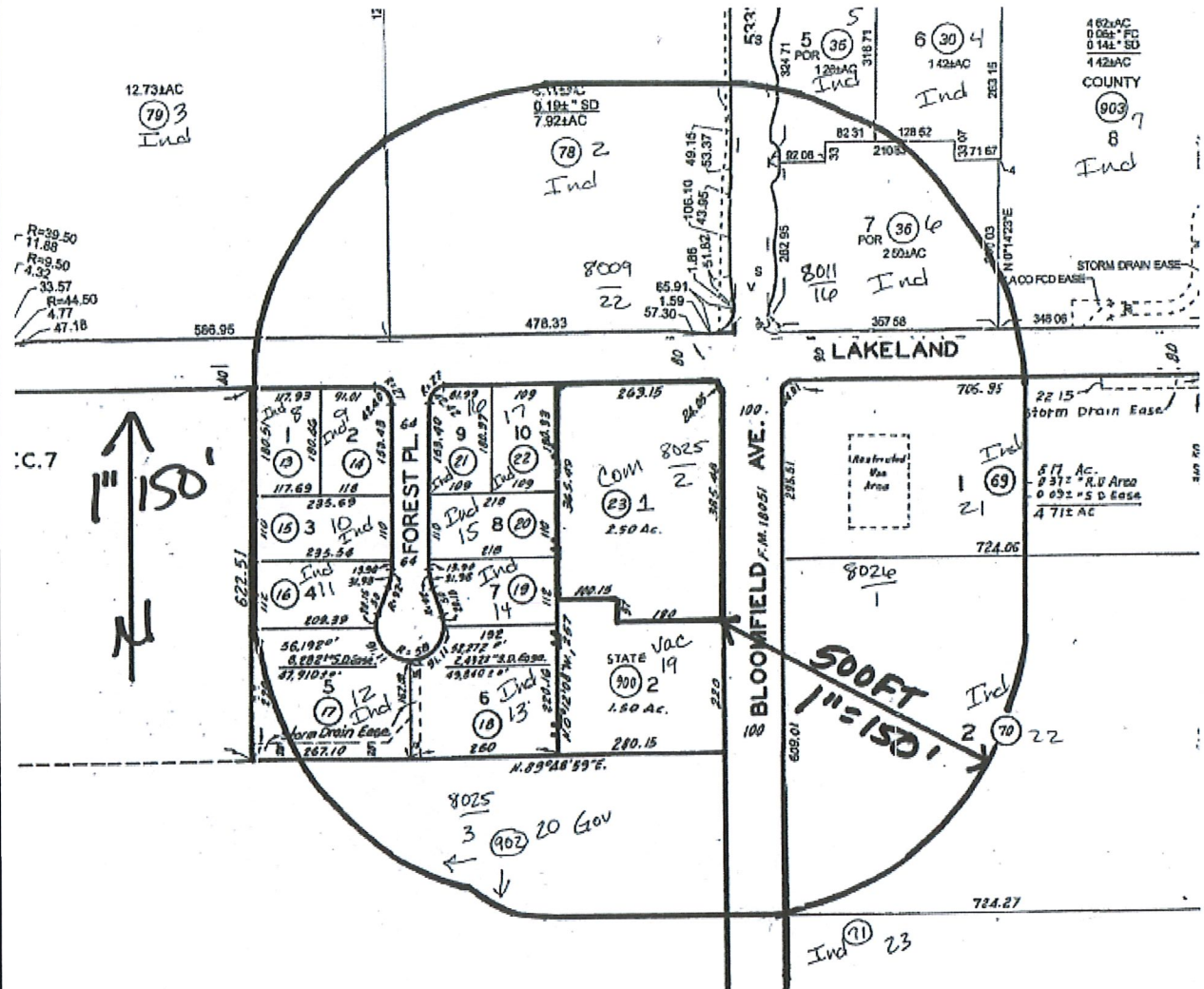
Applicant: Nicole Comach of Virtual Site Walk for SBA

Property located at: 11015 Bloomfield Avenue, Santa Fe Springs, CA 90670 (APN 8025-002-023) in the M-2 (Heavy Manufacturing) Zone, in the M-2 Heavy Manufacturing Zone

CEQA Status: The project is categorically exempt pursuant to Section 15301 Class 1 (existing facilities) of the California Environmental Quality Act (CEQA). The project site is not listed on the Hazardous Waste and Substance Site List (Cortese List) as set forth in Government Code Section 65962.5.

All interested persons are invited to attend the above Public Hearing. If you challenge the above mentioned item and related actions in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this notice, or in written correspondence delivered to the City of Santa Fe Springs Department of Planning & Development at, or prior to the Public Hearing. Any person interested in this matter may contact Laurel Reimer at 562-868-0511, Ex. 7354 or laurelreimer@santafesprings.org

Attachment 3: Radius Map



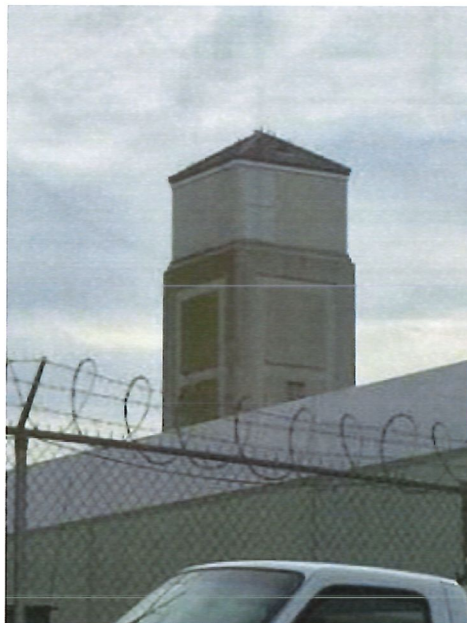
Attachment 4: Site Photos



Before



After



Attachment 5: Resolution 149-2020

CITY OF SANTA FE SPRINGS
RESOLUTION NO. 149-2020
A RESOLUTION OF THE PLANNING COMMISSION OF
THE CITY OF SANTA FE SPRINGS REGARDING
CONDITIONAL USE PERMIT CASE NO. 541-3

WHEREAS, a request was filed for Conditional Use Permit Case No. 541-3 to allow a ten-year extension of an existing 71'-tall stealth tower wireless telecommunications facility located at 11015 Bloomfield Avenue in the M-2, Heavy Manufacturing, Zone; and

WHEREAS, the subject property is located west of Bloomfield Avenue with an Accessor's Parcel Number of 8025-002-023, as shown in the latest rolls of the Los Angeles County Office of the Assessor; and

WHEREAS, the property owner is LA Center for Alcohol and Drug Abuse, 11015 Bloomfield Avenue, Santa Fe Springs, CA 90670; and

WHEREAS, the wireless telecommunications facility owner is SBA Towers VIII, LLC, 8051 Congress Avenue, Boca Raton, FL 33487; and

WHEREAS, the wireless telecommunications facility carrier is Sprint, Attn: Mary Graydon, 8051 Congress Avenue, Boca Raton, FL 33487; and

WHEREAS, the proposed Conditional Use Permit Case No. 541-3 is considered a project as defined by the California Environmental Quality Act (CEQA), Article 20, Section 15378(a); and

WHEREAS, the City of Santa Fe Springs Planning and Development Department on December 26, 2019 published a legal notice in the *Whitter Daily News*, a local paper of general circulation, indicating the date and time of the public hearing, and also mailed said public hearing notice on December 18, 2019 to each property owner within a 500-foot radius of the project site in accordance with state law; and

WHEREAS, the City of Santa Fe Springs Planning Commission has considered the application, the written and oral staff report, the General Plan and zoning of the subject property, the public testimony, written comments, or other materials presented at the Planning Commission meeting on January 13, 2020 concerning the environmental findings and determination and Conditional Use Permit Case No. 541-3.

NOW, THEREFORE, be it RESOLVED that the PLANNING COMMISSION of the CITY OF SANTA FE SPRINGS does hereby RESOLVE, DETERMINE and ORDER AS FOLLOWS:

SECTION I. ENVIRONMENTAL FINDINGS AND DETERMINATION

Pursuant to Section 15301, Class 1 (Existing Facilities) of the California Environmental Quality Act (CEQA), the Planning Commission hereby finds and determines that the project is categorically exempt, in that the project involves extending

the permit term of an existing facility and no modifications are proposed. Therefore, it has been determined that additional environmental analysis is not necessary to meet the requirements of CEQA.

SECTION II. CONDITIONAL USE PERMIT FINDINGS

Pursuant to Section 155.716 of the Zoning Regulations, in studying any application for a Conditional Use Permit, the Commission shall give consideration to the following:

- A) *Satisfy itself that the proposed use will not be detrimental to persons or property in the immediate vicinity and will not adversely affect the city in general.*

The subject site is located within the M-2, Heavy Manufacturing, Zone and has a General Plan land use designation of Industrial. As stated in §157.06, manufacturing zones are the top preferred location for wireless telecommunications facilities, therefore the request is consistent with the current zoning and land use designation. The 71'-tall stealth tower facility was constructed in 1997 and the conditional use permit request will allow for a ten-year extension of the existing facility. The wireless telecommunications facility is unmanned and does not adversely affect the health, peace, comfort or welfare of persons working or residing in the surrounding area. The facility does not add to the ambient noise level, generate any obnoxious odors or solid waste, nor generate additional vehicular traffic. The radio frequency emissions produced by the facility fall within the Federal Communications Commission limits.

If the applicant operates in strict compliance with the conditions of approval, the wireless telecommunications facility will be harmonious with adjoining properties and surrounding land uses. Therefore, the Planning Commission finds that the wireless telecommunications facility will not be detrimental to persons or property in the immediate vicinity and will not adversely affect the city in general.

- B) *Give due consideration to the appearance of any proposed structure and may require revised architectural treatment if deemed necessary to preserve the general appearance and welfare of the community.*

The conditional use permit request is to allow for a ten-year permit approval of an existing 71'-tall wireless telecommunications facility. The facility is disguised as a stealth tower, is set back over 240' from the nearest street, and is constructed behind a building. The equipment associated with the facility is located within the base of the tower, which completely screens the cabinets from view. The facility's stealth design, large setback and location of equipment mitigate the visual impact. Therefore, the Planning Commission finds that the continued use of the existing stealth tower will maintain the general appearance and welfare of the community.

In addition, pursuant to §157.05 of the City's Code of Ordinances, the Planning Commission shall also take into consideration the following factors:

- C) *The proposed wireless telecommunications facility will not be detrimental to persons or property in the immediate vicinity and will not adversely affect the city in general.*

The wireless telecommunications facility has been in operation for nearly 23 years without incident. The facility has not adversely affected the immediate vicinity or the city in general.

- D) The proposed wireless telecommunications facility has been designed to achieve compatibility with the community to the maximum extent reasonably feasible.

The facility is disguised as a stealth tower and the associated equipment is located within the base of the tower. Additionally, the facility is setback over 240' from the nearest public street. The facility's location and stealth design successfully achieve community compatibility.

- E) The location of the wireless telecommunications facility on alternative sites will not increase community compatibility or is not reasonably feasible.

The wireless facility has been in operation for nearly 23 years without complaints from the surrounding community. Alternate sites were not considered because it would not be feasible to ask SBA to relocate a facility that has proven to be compatible with the community.

- F) The proposed wireless telecommunications facility is necessary to close a significant gap in coverage, increase network capacity, or maintain service quality, and is the least intrusive means of doing so.

The proposed equipment upgrades will allow SBA and Sprint to continue to provide communication and data services to the surrounding community. Maintaining an existing facility, versus constructing a new facility, is the least intrusive means of providing the network coverage and capacity that Sprint needs.

SECTION III. PLANNING COMMISSION ACTION

The Planning Commission hereby adopts Resolution No. 149-2020 to determine that the proposed Conditional Use Permit is Categorically Exempt pursuant to the California Environmental Quality Act (CEQA) Section 15301, Class 1 (Existing Facilities), and to approve Conditional Use Permit Case No. 541-3 to allow a ten-year extension of an existing stealth tower wireless telecommunications facility located at 11015 Bloomfield Avenue in the M-2, Heavy Manufacturing Zone, subject to conditions attached hereto as Exhibit A.

ADOPTED and APPROVED this 13th day of January, 2020 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE SPRINGS.

Frank Ybarra, Chairperson

ATTEST:

Teresa Cavallo, Planning Secretary

EXHIBIT A
CUP 541-3 CONDITIONS OF APPROVAL

POLICE SERVICES DEPARTMENT:

(Contact: Luis Collazo 562-409-1850 x3335)

1. The applicant shall provide an emergency phone number and a contact person to the Department of Police Services and the Fire Department. The name, telephone number, fax number and e-mail address of that person shall be provided to the Director of Police Services and the Fire Chief no later than 60 days from the date of approval by the Planning Commission. Emergency information shall allow emergency service to reach the applicant or their representative any time, 24 hours a day. **(Ongoing)**
2. **SBA Towers VIII, LLC Sprint/Nextel** shall test the proposed telecommunication system to make sure that it does not interfere with the Police, Fire, and City communications systems. This testing process shall be repeated for every proposed frequency addition and/or change. Should any modification be required to the Police, Fire, or City communications system, the applicant shall pay all costs associated with said modifications. **(Revised Ongoing)**
3. **SBA Towers VIII, LLC Sprint/Nextel** shall provide a 24-hour phone number to which interference problems may be reported to the Director of Police Services, Director of Planning and Development and Fire Chief. This condition will also apply to all other existing **SBA Towers VIII, LLC Sprint/Nextel** facilities in the City of Santa Fe Springs. **(Revised Ongoing)**
4. **SBA Towers VIII, LLC Sprint/Nextel** shall provide a "single point of contact" in its Engineering and Maintenance Departments to insure continuity on all interference issues. The name, telephone number, fax number, and e-mail address of that person shall be provided to the Director of Police Services, Director of Planning and Development and the Fire Chief. **(Revised Ongoing)**
5. The telecommunications facility, including any lighting, fences, walls, cabinets, and poles shall be maintained by **SBA Towers VIII, LLC Sprint/Nextel** in good repair, free from trash, debris, litter and graffiti and other forms of vandalism. Any damage from any cause shall be repaired within 72 hours of occurrence, weather permitting, to minimize occurrences of dangerous conditions or visual blight. Paint utilized in covering graffiti shall be a color that matches, as closely possible, the color of the adjacent surfaces. **(Revised Ongoing)**
6. The applicant shall allow public safety personnel to access and use the telecommunication facility's wireless capabilities, for emergency uses, criminal investigative purposes, and for surveillance in cases that are detrimental to the health and welfare of the community, at no cost. **(Ongoing)**

PLANNING DEPARTMENT:

(Contact: Laurel Reimer 562-868-0511 x7354)

7. **The facility shall comply with the requirements pursuant to Chapter 157 of the Santa Fe Springs Municipal Ordinance. (New)**
8. All projects over \$50,000 are subject to the requirements of Ordinance No. 914 to reuse or recycle 75% of the project waste. Contact the Recycling Coordinator, Anita Jimenez at ~~(562) 868-0511 x7570~~ **MuniEnvironmental, at (562) 432-3700 or info@MuniEnvironmental.com. (Revised Ongoing)**
9. The applicant shall comply with the City's "Heritage Artwork in Public Places Program" in conformance with City Ordinance No. ~~909~~ **1054. (Revised Ongoing)**
10. ~~Any addition or alteration to the site, structural design and related improvements, including the installation of additional antennas (receivers, transmitters, grids, whips, dishes, etc.), or the co-location of additional antenna, shall require Reconsideration of this Conditional Use Permit by the Planning Commission. If said improvements are made by a carrier other than the applicant, the improvements would require a new CUP. Replacement of like for like equipment is exempt from this provision; however, plans and specifications may be required to be submitted to the Building Division of the City. (Removed – modification process dictated by Chapter 157)~~
11. No signs, advertisements, logos, messages, banners, clocks or similar identification improvements, except FCC required signage, shall be permitted on the antenna structure, wall, fence, equipment cabinet or enclosure. **(Ongoing)**
12. The applicant/operator shall be responsible for maintaining the wireless telecommunications facility (faux clock tower and associated equipment) in good condition and shall agree to the repair and replacement of equipment, stealth **components**, and structural components due to damage caused by any condition, including outdoor exposure and/or inclement weather. Under this condition, the applicant shall replace any damaged components within 90 days of written notice by the Planning Director. If the work cannot be completed within 90 days, the applicant shall provide the City with a bond or certification of deposit in the amount of the valuation of the requested repair and completion timeline to guarantee the work. **(Revised Ongoing)**
13. The antenna facility shall be continually operated in accordance with all applicable Federal regulations governing such operations. **(Ongoing)**
14. The installation of emergency generators shall require prior approval from the Department of Planning and Development and the Department of Fire/Rescue. Permit(s) are also required from the Building Division. **(Ongoing)**
15. If there is evidence that conditions of approval have not been fulfilled or the use has or have resulted in a substantial adverse effect on the health, and/or general welfare of users of adjacent or proximate property, or have a substantial adverse impact on public facilities or services, the Director of Planning and Development may refer the use permit to the Planning Commission for review. If upon such review, the Commission finds that any of the results above have occurred, the Commission may modify or revoke the use permit. **(Ongoing)**

16. The facility operator(s) shall be strictly liable for any and all sudden and accidental pollution and gradual pollution resulting from their use within the City, including cleanup, and injury or damage to persons or property. Additionally, operators shall be responsible for any sanctions, fines, or other monetary costs imposed as a result of the release of pollutants from their operations. "Pollutants" means any solid, liquid, gaseous or thermal irritant or contaminant, including smoke, vapor, soot, fumes, acids, alkalis, chemicals, electromagnetic waves and waste. "Waste" includes materials to be recycled, reconditioned or reclaimed. **(Ongoing)**
17. **SBA Towers VIII, LLC Sprint/Nextel** shall ensure that any FCC licensed telecommunications carrier that is buying, leasing or is considering a transfer of ownership of the approved telecommunication facility, shall first submit a letter of notification of intent to the Director of Planning and Development. **(Revised Ongoing)**
18. Upon any transfer or lease of the telecommunication facility during the term of Conditional Use Permit Case No. 541, **SBA Towers VIII, LLC Sprint/Nextel** and/or the owner of the property shall promptly provide a copy of the conditional use permit to the transferee or lessee and shall insure that lessee or other user(s) shall comply with the terms and conditions of this permit. The Department of Planning and Development shall also be notified in writing of any such transfer or lease. **(Revised Ongoing)**
19. **SBA Towers VIII, LLC Sprint/Nextel**, and the owner of the premises upon which the telecommunication facility is located, shall promptly notify the Director of Planning and Development, in writing, in the event that the use of the telecommunication facility is discontinued or abandoned. **SBA Towers VIII, LLC Sprint/Nextel** and/or owner shall promptly remove the facility, repair any damage to the premises caused by such removal, and restore the premises to its pre-telecommunication condition so as to be in conformance with all applicable zoning codes at **SBA Towers VIII, LLC Sprint/Nextel** and/or owner's expense. All such removal, repair and restoration shall be completed within six (6) months after the use is discontinued or abandoned, and shall be performed in accordance with all applicable health and safety code requirements. **(Revised Ongoing)**
20. The applicant shall be responsible for reviewing and/or providing copies of the required conditions of approval to his/her architect, engineer, contractor, tenants, etc. Additionally, the conditions of approval contained herein, shall be made part of the construction drawings for the proposed development. *Construction drawings shall not be accepted for Plan Check without the conditions of approval incorporated into the construction drawings.* **(Ongoing)**
21. The applicant shall require and verify that all contractors and subcontractors have successfully obtained a Business License with the City of Santa Fe Springs prior to beginning any work associated with the subject project. A late fee and penalty will be assessed to any contractor or subcontractor that fails to obtain a Business License and a Building Permit final or Certificate of Occupancy will not be issued until all fees and penalties are paid in full. Please contact **the Finance Department at (562) 868-0511, extension 7520** Cecilia Pasos, Business License Clerk, at (562)

~~868-0511, extension 7527~~ for additional information. A business license application can also be downloaded at www.santafesprings.org.

22. The signals generated by the **SBA Towers VIII, LLC Sprint/Nextel** telecommunication facility shall not interfere with the signals of any adjacent telecommunication facilities located in the vicinity. **(Revised Ongoing)**
23. Insofar as is feasible, **SBA Towers VIII, LLC Sprint/Nextel** shall cooperate with any subsequent applicants for wireless communications facilities with regards to possible colocation. Said subsequent applicants shall be subject to the regulations in effect at that time. **(Revised Ongoing)**
24. **The wireless telecommunications facility shall be substantially in accordance with the plans submitted by the applicant and on file with the case.** ~~The proposed equipment shall otherwise be substantially in accordance with the plot plan, floor plan, and elevations submitted by the applicant and on file with the case.~~ **(Revised Ongoing)**
25. All other requirements of the City's Zoning Regulations, Building Code, Property Maintenance Ordinance, and City Fire Code and all other applicable County, State and Federal regulations and codes shall be complied with. **(Ongoing)**
26. That ~~Reconsideration of~~ Conditional Use Permit Case No. 541-**3** shall be valid until **January 13, 2030** ~~August 11, 2018~~. Approximately three (3) months before **January 13, 2030** ~~August 11, 2018~~, **SBA Towers VIII, LLC** and/or the current operator or owner shall request, in writing, an extension of the privileges granted herein, provided that the use has been continuously maintained in strict compliance with these conditions of approval. **(Revised Ongoing)**
27. ~~That Reconsideration of Conditional Use Permit Case No. 541 shall not be effective for any purpose until Sprint/Nextel has filed with the City of Santa Fe Springs an affidavit stating he/she is aware of and agree to accept all of the required conditions of approval. The affidavit shall be submitted to the Department of Planning and Development within thirty (30) days of receipt of the approval letter from the Director of Planning and Development.~~ **(Removed – affidavits no longer used)**
28. That **SBA Towers VIII, LLC Sprint/Nextel** agrees to defend, indemnify and hold harmless the City of Santa Fe Springs, its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul an approval of the City or any of its councils, commissions, committees or boards concerning Reconsideration of Conditional Use Permit Case No. 541-**3**, when action is brought within the time period provided for in the City's Zoning Ordinance, Section 155.865. Should the City, its agents, officers or employees receive notice of any such claim, action or proceeding, the City shall promptly notify the owner/developer of such claim, action or proceeding, and shall cooperate fully in the defense thereof. **(Revised Ongoing)**
29. Notice is hereby given that any person violating a provision of the conditions of approval for ~~Reconsideration of~~ Conditional Use Permit Case No. 541-**3** is guilty of a misdemeanor. Notice is further given that the Planning Commission may, after conducting a public hearing, revoke or modify the conditions of ~~Reconsideration of~~

Conditional Use Permit Case No. 541-**3** if the Commission finds that these conditions have been violated or that the Permit has been exercised so as to be detrimental to the public's health or safety or so as to be a nuisance. **(Revised Ongoing)**

30. It is hereby declared to be the intent that if any provision of this Permit is violated or held to be invalid, or if any law, statute or ordinance is violated, the Permit shall be void and the privileges granted hereunder shall lapse. Your attention is called to the fact that this approval is not effective until an affidavit has been signed and notarized to indicate your willingness to accept and abide by the conditions of approval. **(Ongoing)**

Attachment 6: T-Mobile Co-Location Project Plans

NSB/797DB



SITE NUMBER:LA74741C

SITE NAME:ALURTIS

SITE TYPE:TOWER

CITY:SANTA FE SPRINGS

COUNTY:LOS ANGELES

JURISDICTION:CITY OF SANTA FE SPRINGS

PROJECT SUMMARY

SITE ADDRESS:

11015 BLOOMFIELD AVENUE
SANTA FE SPRINGS, CA 90670

PROPERTY OWNER CONTACT:

LA CENTER FOR ALCOHOL & DRUGS ABUSE
11015 BLOOMFIELD AVENUE
SANTA FE SPRINGS, CA 90670
CONTACT: JOHN BROWN
PHONE: (310) 906-2576

APPLICANT:

T-MOBILE WEST LLC
4100 GUARDIAN ST., SUITE 101
SIMI VALLEY CA 93063
REPRESENTATIVE:
REAL ESTATE MANAGER: DOUG WALKUP
CONSTRUCTION MANAGER: TONY KASSAS
CONSTRUCTION COORDINATOR: MIKE MOORE
NICHOLE MITCHEL

CONSULTING TEAM

SAC/ZONING/PERMITTING:

SYNERGY A DIVISION OF
ADVANTAGE ENGINEERS, LLC.
7543 WOODLEY AVENUE
VAN NUYS, CA 91406
CONTACT: TONY KASSAS
PHONE: (949) 734-8398

ARCHITECTURAL/ENGINEERING:

SYNERGY A DIVISION OF
ADVANTAGE ENGINEERS, LLC
VAN NUYS, CA 91406
CONTACT: ADAM BRONNENKANT
PHONE: (818) 276-6998
FAX: (818) 840-0708

STRUCTURAL ENGINEERING:

SYNERGY A DIVISION OF
ADVANTAGE ENGINEERS, LLC
VAN NUYS, CA 91406
CONTACT: ADAM BRONNENKANT
PHONE: (818) 276-6998
FAX: (818) 840-0708

DRAWING INDEX

SHEET	DESCRIPTION
T-1	TITLE SHEET
T-2	GENERAL NOTES
T-3	ABBREVIATIONS, GENERAL NOTES AND SYMBOLS
T-4	GENERAL STRUCTURAL NOTES
LS-1	PHOTOGRAPHIC SURVEY
A-1	OVERALL SITE PLAN
A-2	ENLARGED PLAN, EQUIPMENT LAYOUT PLAN AND ELEVATION
A-2.1	ANTENNA LAYOUT PLANS
A-3	ELEVATIONS
A-4	ELEVATIONS
A-5	ELEVATIONS
A-6	ELEVATIONS
D-1	DETAILS
D-1	DETAILS
RF-1	SPECIFICATIONS
RF-2	SPECIFICATIONS

GENERAL LOCATION MAP

VICINITY MAP

BUILDING SUMMARY

OCCUPANCY CLASSIFICATION: UNMANNED TELECOMMUNICATION FACILITY
ZONE CLASSIFICATION : M-2 (HEAVY MANUFACTURING)
BUILDING USE: COMMERCIAL OFFICE
CONSTRUCTION TYPE: V-B
APN: 8025-002-023
THE UNDERLYING FACILITY ENTITLEMENT IS CUP 541

1

LATITUDE / LONGITUDE

LAT: 33° 55' 51.9" N
LONG: 118° 03' 519" W

LAT: 33.93087200° N
LONG: -118.06503900° W

UTILITY PURVEYOR

POWER:
SCE

TELCO:
COMPANY:

PROJECT DESCRIPTION

THE PROJECT ENTAILS:
T-MOBILE PROPOSED TO MODIFY (E) WIRELESS TELECOMMUNICATIONS SITE BY:
NSB:
1. INSTALL (1) NEW RBS 6102 MU AC
2. INSTALL (1) NEW BATTERY CABINET
3. (1) NEW AIR32 DB PER SECTOR, (3) TOTAL
4. (1) NEW APXVAA24_43-U-A20 PER SECTOR, (3) TOTAL
5. (1) NEW RRUS11-B12 PER SECTOR, (3) TOTAL
6. (1) NEW RADIO 4478 B71 PER SECTOR, (3) TOTAL
7. (1) NEW GENERIC 600/700 DIPLEXER PER SECTOR, (3) TOTAL
8. INSTALL UTILITY RACK
9. INSTALL LOUVERS
10. UPGRADE FENCE
11. INSTALL (2) SERVICE LIGHTS AND (2) THERMOSTATS

3

LEGAL DESCRIPTION

LOT: 1 CITY: REGION/CLUSTER: 26/26628 P M 274-50-51 LOT 1
CITY/MUNI/TWP: REGION/CLUSTER: 26/26628

APPROVAL

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL CONSTRUCTION DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND ANY CHANGES AND MODIFICATIONS THEY MAY IMPOSE.

	PRINT NAME	SIGNATURE	DATE
LANDLORD:			
ZONING MGR:			
DEVELOP. MGR:			
CONST. MGR:			
PROJECT MGR:			
SR. RF ENGINEER:			
RF ENGINEER:			
OPERATIONS:			
SAC REP.:			
UTILITIES:			
REAL ESTATE MGR:			

ACCESSIBILITY REQUIREMENTS

THE FACILITY IS UNMANNED AND NOT FOR CONTINUOUS HUMAN HABITATION. HANDICAPPED ACCESS IS NOT REQUIRED PER CBC 2016, SECTION 11B-203.4 (LIMITED ACCESS SPACES)
SECTION 11B-203.5 (MACHINERY SPACES)

CODE COMPLIANCE

1. CALIFORNIA ADMINISTRATIVE CODE (INCL. TITLES 24 & 25) 2016
2. CALIFORNIA BUILDING CODES 2016
3. CALIFORNIA ELECTRICAL CODES 2016
4. CALIFORNIA MECHANICAL CODES 2016
5. CALIFORNIA PLUMBING CODES 2016
6. ANSI / EIA-222 G
7. LOCAL BUILDING CODES
8. CITY / COUNTY ORDINANCES
9. CALIFORNIA FIRE CODE 2016 EDITION
10. ASCE 7-16
11. ACI 318-14

DRIVING DIRECTION

DIRECTIONS FROM T-MOBILE OFFICE 4100 GUARDIAN ST., SUITE 101 SIMI VALLEY CA 93063:

HEAD SOUTHWEST ON GUARDIAN ST. TOWARD TAPO CANYON RD. TURN RIGHT ONTO TAPO CANYON RD. TURN RIGHT TO MERGE ONTO CA-118 E. MERGE ONTO CA-118 E. USE THE RIGHT 3 LANES TO TAKE EXIT 44A TO MERGE ONTO I-5 TOWARD LOS ANGELES. KEEP LEFT AT THE FORK TO STAY I-5 S, FOLLOW SIGNS FOR CA-60 E/POMONA/INTERSTATE 5 S/SOTO ST./SANTA ANA. USE THE RIGHT LANE TO TAKE EXIT 124 FOR I-605 S. KEEP RIGHT TO CONTINUE ON EXIT 123, FOLLOW SIGNS FOR FLORENCE AVE. USE THE LEFT 2 LANES TO TURN LEFT ONTO E. FLORENCE AVE. TURN RIGHT ONTO BLOOMFIELD AVE. DESTINATION WILL BE ON THE RIGHT.

T-Mobile

Stick Together

4100 GUARDIAN ST, SUITE 101
SIMI VALLEY, CA 93063

PROJECT INFORMATION:

(NSB)
LA74741C
ALURTIS

11015 BLOOMFIELD AVE
SANTA FE SPRINGS, CA 90670
LOS ANGELES COUNTY

CURRENT ISSUE DATE:

04/30/18

ISSUED FOR:

CONSTRUCTION

REV.:	DATE:	DESCRIPTION:	BY:
A	10/02/17	90% CD, ISSUED FOR REVIEW	RB
1	11/20/17	REVISED PER B&S PLAN CHECK COMMENTS	RB
2	12/20/17	REVISED PER LANDLORD COMMENTS	RB
3	04/27/18	REVISED PER PLAN CHECK COMMENTS	JTA/RB

PLANS PREPARED BY:

Synergy

a division of advantage engineers

7543 Woodley Ave., #201, Van Nuys, CA 91406
Office: (818) 840-0808 Fax: (818) 840-0708

CONSULTANT:

Synergy

a division of advantage engineers

7543 Woodley Ave., #201, Van Nuys, CA 91406
Office: (818) 840-0808 Fax: (818) 840-0708

DRAWN BY:RB

CHK.:AB

APV.:AB

LICENSURE:

REGISTERED PROFESSIONAL ENGINEER
ADAM BRONNENKANT
C74190
EXP. 6/30/19
CIVIL
STATE OF CALIFORNIA

SHEET TITLE:

TITLE SHEET

SHEET NUMBER: T-1

REVISION: 3

LA74741C

1. CONTRACTOR SHALL CONTACT THE BUILDING OWNER TO DETERMINE IF ROOF IS UNDER WARRANTY. CONTRACTOR SHALL GUARANTEE THAT ANY AND ALL NEW ROOFING WORK MEETS THE SPECIFICATION OF ANY EXISTING ROOFING WARRANTIES SUCH THAT THE WARRANTY IS NOT MADE INVALID AS A RESULT OF THIS WORK. IF IT IS DETERMINED THAT THE ARCHITECT'S DETAILING IS INADEQUATE OR IMPROPER OR IF ANY OTHER DISCREPANCY IS FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND THE CLIENT PROJECT MANAGER IN WRITING. ULTIMATELY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE ORIGINAL ROOF MANUFACTURER'S SPECIFICATIONS.
2. CONTRACTOR SHALL USE METHODS AND MATERIALS SIMILAR AND COMPATIBLE WITH EXISTING MATERIALS & CONDITIONS FOR ROOF PATCHING, NEW PENETRATIONS, ETC.
3. THE CONTRACTOR SHALL PROPERLY SEAL ALL NEW ROOF & BUILDING ENVELOPE PENETRATIONS SUCH THAT THE INTEGRITY OF THE ORIGINAL BUILDING ASSEMBLY AND ALL APPLICABLE WARRANTIES ARE MAINTAINED.
4. IF IT DEEMED NECESSARY TO REMOVE EXISTING FINISHED AND/OR MATERIALS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONSTRUCTING FINISHES AND MATERIALS TO LINE-NEW CONDITIONS. CONTRACTOR SHALL MAINTAIN THE ORIGINAL COLORS, TEXTURES & FINISHES UNLESS SPECIFICALLY NOTED TO THE CONTRARY OR APPROVED T-MOBILE CONSTRUCTION MANAGER IN ADVANCE.
5. AT THE CLIENT CONSTRUCTION MANAGER'S DISCRETION, THE CONTRACTOR SHALL PROVIDE ROOFTOP WALKPADS TO ALL NEW EQUIPMENT INCLUDING ANTENNAS AND BTS UNITS AND ALONG COAX CABLE ROUTING. ON CONVENTIONAL ROOFING, THE WALK PADS SHALL BE "DUCK BOARDS" AS MANUFACTURED BY APC OR EQUAL. ON SPECIAL ROOFING SYSTEMS SUCH AS SINGLE MEMBRANE ROOFS WILL REQUIRE A SPECIFIC PRODUCT AS NOTED ON PLANS OR AS REQUIRED BY NOTES 1 & 2 ABOVE.

1. AT THE CLIENT PROJECT MANAGER'S DIRECTION, THE CONTRACTOR SHALL PROVIDE "HILTI" HIGH PERFORMANCE FIRESTOP SYSTEM #FS601 AT ALL FIRE RATED PENETRATIONS INSTALLED PER MANUFACTURER'S LATEST INSTALLATION SPECIFICATIONS.
2. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE CONSTRUCTED SO AS TO MAINTAIN AN EQUAL OR GREATER FIRE RATING.

1. THE LATEST EDITION OF THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" ARE INCLUDED IN THESE SPECIFICATIONS AS IF COMPLETELY REPRODUCED HEREIN.
2. THESE NOTES SHALL BE CONSIDERED A PART OF THE WRITTEN SPECIFICATION.
3. THIS FACILITY IS AN OCCUPIED T-MOBILE TELECOMMUNICATIONS SITE AND IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.
4. PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS PARTICIPATING SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH ALL FIELD CONDITIONS AFFECTING THE PROPOSED PROJECT INCLUDING DEMOLITION, ELECTRICAL, MECHANICAL AND STRUCTURAL INSTALLATIONS, AS WELL AS WITH THE CONSTRUCTION AND CONTRACT DOCUMENTS AND SHALL CONFIRM THAT THE PROJECT CAN BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH THE CONSTRUCTION. SHOULD ANY ERRORS, OMISSION, OR DISCREPANCIES BE FOUND, THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY SYNERGY AND THE PROJECT ARCHITECT / ENGINEER IN WRITING. IN THE EVENT OF DISCREPANCIES FOUND, THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY SYNERGY AND THE PROJECT ARCHITECT / ENGINEER IN WRITING. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL INCLUDE THE MORE COSTLY OR EXTENSIVE WORK IN THE BID, UNLESS SPECIFICALLY DIRECTED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERROR, OMISSION, OR INCONSISTENCY AFTER THE START OF THE CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT / ENGINEER AND SHALL INCUR ANY EXPENSES TO RECTIFY THE SITUATION. THE MEANS OF CORRECTING ANY ERROR SHALL FIRST BE APPROVED BY THE PROJECT ARCHITECT / ENGINEER.
5. THE CONTRACTOR SHALL INCLUDE IN HIS OR HER BID ALL MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE THE WORK AS INDICATED OR IMPLIED BY THESE DRAWINGS.
6. THE CONTRACTOR SHALL PROVIDE CONTINUOUS SUPERVISION WHILE ANY SUBCONTRACTORS OR WORKMEN ARE IN THE SITE AND SHALL SUPERVISE AND DIRECT ALL WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES AND SEQUENCES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
7. WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF THE TRADE INVOLVED, AND SHALL MEET OR EXCEED THE FOLLOWING MINIMUM REFERENCE STANDARDS FOR QUALITY AND PROFESSIONAL CONSTRUCTION PRACTICE:

NBCRA NATIONAL ROOFING CONTRACTORS ASSOCIATION
0' HARE INTERNATIONAL CENTER
10255 W. HIGGINS ROAD, SUITE 600
ROSEMONT, IL 60018

SMACNA SHEET METAL AND AIR CONDITIONING CONTRACTORS
NATIONAL ASSOCIATION
4201 LAFAYETTE CENTER DRIVE
CHATTILLY, VA 22021-1209

ITLP INTERNATIONAL INSTITUTE FOR LATH AND PLASTER
820 TRANSFER ROAD
ST. PAUL, MN 55114-1406

8. INSTALL ALL EQUIPMENT AND MATERIALS PER THE LATEST EDITION OF THE MANUFACTURER'S INSTALLATION SPECIFICATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED, OR WHERE LOCAL CODES OR REGULATIONS PRECEDE.

9. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL GIVE ALL NOTICES AND SHALL COMPLY WITH ALL APPLICABLE LOCAL CODES, REGULATIONS, LAWS AND ORDINANCES AS WELL AS STATE DEPARTMENT OF INDUSTRIAL REGULATIONS AND DIVISION OF INDUSTRIAL SAFETY (OSHA) REQUIREMENTS.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REMEDY ALL FAULTY, INFERIOR, AND/OR IMPROPER MATERIALS, DAMAGED GOODS, AND/OR FAULTY WORKMANSHIP FOR ONE (1) YEAR AFTER THE PROJECT IS COMPLETE AND ACCEPTED UNDER THIS CONTRACT; UNLESS NOTED OTHERWISE IN THE CONTRACT BETWEEN THE OWNER AND CONTRACTOR. (EXCEPTION) THE ROOFING SUBCONTRACTOR SHALL FURNISH A MAINTENANCE AGREEMENT FOR ALL WORK DONE, COSIGNED BY THE GENERAL CONTRACTOR, TO MAINTAIN THE ROOFING IN A WATER TIGHT CONDITION FOR A PERIOD OF TWO (2) YEARS STARTING AFTER THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT, UNLESS OTHERWISE WRITTEN IN THE CONTRACT BETWEEN THE OWNER AND THE CONTRACTOR.

11. THE GENERAL CONTRACTOR MUST PERFORM WORK DURING PROPERTY OWNER'S PREFERRED HOURS TO AVOID DISRUPTION OF NORMAL ACTIVITY.
12. ALL EXPOSED METAL SHEET SHALL BE HOT-DIPPED GALVANIZED.
13. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT AREA CONSTRUCTION.
14. THE GOVERNING AGENCIES, CODE AUTHORITIES, AND BUILDING INSPECTORS SHALL PROVIDE THE MINIMUM STANDARDS FOR CONSTRUCTION TECHNIQUES, MATERIALS, AND FINISHES USED THROUGHOUT THE PROJECT TRADE STANDARDS AND/OR PUBLISHED MANUFACTURERS SPECIFICATIONS MEETING OR EXCEEDING DESIGN REQUIREMENTS SHALL BE USED FOR INSTALLATION.
15. PRIOR TO STARTING CONSTRUCTION OF THE CONTRACTOR HAS THE RESPONSIBILITY TO LOCATE ALL EXISTING UTILITIES, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR OR SUBCONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGE TO THE UTILITIES CAUSED DURING THE EXECUTION OF THE WORK.
16. A COPY OF THE APPROVED PLANS SHALL BE KEPT IN A PLACE SPECIFIED BY THE GOVERNING AGENCY, AND BY LAW SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES.
17. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE ALL CONSTRUCTION SETS REFLECT THE SAME INFORMATION AS THE APPROVED PLANS. THE CONTRACTOR SHALL ALSO MAINTAIN ONE SET OF PLANS AT THE SITE FOR THE PURPOSE OF DOCUMENTING ALL AS-BUILT CHANGES, REVISIONS, ADDENDUM'S, OR CHANGE ORDERS. THE CONTRACTOR SHALL FORWARD THE AS-BUILT DRAWINGS TO THE ARCHITECT/ENGINEER AND THE LANDLORD/LESSOR AT THE CONCLUSION OF THE PROJECT.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE FROM THE START TO THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL MAINTAIN ACCESS TO THE SITE AT ALL TIMES FOR THE LANDLORD/LESSOR PERSONNEL.
19. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY POWER, WATER AND TOILET FACILITIES.
20. ALL CONSTRUCTION PHASES OF THE PROJECT SHALL CONFORM TO THE CURRENT 2016 CBC, 2015 I.B.C. AND ALL OTHER GOVERNING CODES.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING THE WORK. THE ENGINEER WILL NOT ADVISE OR PROVIDE DIRECTION AS TO SAFETY PRECAUTIONS AND PROGRAMS.
22. THE CONTRACTOR SHALL SUPERVISE AND COORDINATE ALL WORK, USING HIS PROFESSIONAL KNOWLEDGE AND SKILLS. HE IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES, SEQUENCING AND COORDINATING ALL PORTIONS OF THE WORK.
23. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL PERMITS, LICENSES AND/OR INSPECTIONS TO COMPLETE THE PROJECT. BUILDING PERMIT APPLICATIONS SHALL BE FILED BY THE OWNER OR HIS REPRESENTATIVE. CONTRACTOR SHALL OBTAIN THE PERMIT AND MAKE FINAL PAYMENT OF THE SAID DOCUMENT.
24. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE UNLESS OTHERWISE NOTED.
25. THE CONTRACTOR SHALL PROVIDE THE FIRE MARSHALL APPROVED MATERIALS TO FILL/SEAL PENETRATIONS THROUGH THE FIRE RATE ASSEMBLIES.
27. (N) CONSTRUCTION ADDED TO EXISTING CONSTRUCTION SHALL BE MATCHED IN FORM, TEXTURE, MATERIAL AND PAINT COLOR EXCEPT AS NOTED IN THE PLANS.
28. WHERE SPECIFIED, MATERIALS TESTING SHALL BE TO THE LATEST STANDARDS AVAILABLE AS REQUIRED BY THE LOCAL GOVERNING AGENCY RESPONSIBLE FOR RECORDING THE RESULTS.
29. ALL GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE.
30. ALL DEBRIS AND REFUSE IS TO BE REMOVED FROM THE PROJECT DAILY. PREMISES SHALL BE LEFT IN A CLEAN/SWEPT CONDITION AT ALL TIMES.
31. ALL SYMBOLS AND ABBREVIATIONS ARE CONSIDERED CONSTRUCTION INDUSTRY STANDARDS. IF A CONTRACTOR HAS A QUESTION REGARDING THEIR EXACT MEANING THE ARCHITECT/ENGINEER SHALL BE NOTIFIED FOR CLARIFICATIONS.
32. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE METHODS, TECHNIQUES AND SEQUENCES OF PROCEDURES TO PERFORM THE WORK. THE SUPERVISION OF THE WORK IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
33. CONTRACTORS SHALL BID WALK THE PROJECT TO ASCERTAIN CONDITIONS WHICH MAY ADVERSELY AFFECT THE WORK OR COST THEREOF.
34. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, THE DIMENSIONS, ELEVATIONS, ETC. NECESSARY FOR THE PROPER CONSTRUCTION AND ALIGNMENT OF THE (N) WORK TO THE EXISTING WORK. THE CONTRACTOR SHALL MAKE ALL MEASUREMENTS NECESSARY FOR THE FABRICATION AND ERECTION OF STRUCTURAL MEMBERS. ANY DISCREPANCY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY THE SUBCONTRACTOR(S).
35. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH THE EXECUTION OF THIS WORK. GENERAL CONTRACTOR SHALL NOTIFY THE ENGINEER AND ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES FOUND WITHIN THE CONTRACT DOCUMENTS, PRIOR TO STARTING WORK.
36. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF WORK, SHALL BE RELOCATED AS DIRECTED BY ENGINEERS. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES.
37. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF WORK, SHALL BE REMOVED AND SHALL BE CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF WORK, SUBJECT TO THE APPROVAL OF THE ENGINEER.
38. NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE ARCHITECT/ENGINEER. UNAUTHORIZED CHANGES RENDER THESE DRAWINGS VOID.
39. ANY REFERENCES TO THE WORDS APPROVED, OR APPROVAL IN THESE DOCUMENTS SHALL BE HERE DEFINED TO MEAN GENERAL ACCEPTANCE OR REVIEW AND SHALL NOT RELIEVE THE CONTRACTOR AND/OR HIS SUBCONTRACTORS OF ANY LIABILITY IN FURNISHING THE REQUIRED MATERIALS OR LABOR SPECIFIED.

40. A PRE-CONSTRUCTION CONFERENCE OF REPRESENTATIVES FROM AFFECTED AGENCIES SHALL BE HELD ON THE JOB AT LEAST ONE (1) WEEK PRIOR TO BEGINNING CONSTRUCTION.
41. DRAWINGS ARE NOT TO BE SCALED UNDER ANY CIRCUMSTANCES, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE, AND THIS SET OF PLANS IS INTENDED TO BE USED FOR DIAGRAMMATIC PURPOSES ONLY, UNLESS NOTED OTHERWISE. CONTRACTOR SHALL PROVIDE FIELD MEASUREMENTS AS NECESSARY TO COMPLETE ALL WORKS AND THE GENERAL CONTRACTOR'S SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR, AND ANYTHING ELSE DEEMED NECESSARY TO COMPLETE INSTALLATIONS AS DESCRIBED HEREIN. SYNERGY IS NOT RESPONSIBLE FOR ANY ERRORS RESULTING FROM THIS PRACTICE. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS.
42. DETAILS INCLUDED HEREIN ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS OR SITUATIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE SCOPE OF WORK.

1. THE PREPARATION OF THE SITE FOR CONSTRUCTION SHALL INCLUDE THE REMOVAL OF ALL BROKEN CONCRETE, TREE TRUNKS AND ANY OTHER DEBRIS THAT MIGHT DAMAGE THE FOOTINGS OF THE (N) STRUCTURE.
2. BACKFILL ALL TRENCHES WITH CLEAN, STERILE SOIL HAVING A SAND EQUIVALENT OF 30% OR GREATER. BACKFILL IN 8 INCH LAYERS, MOISTURE CONDITIONED AND PROPERLY COMPACTED. ADEQUATE DRAINAGE SHALL BE PROVIDED SUCH THAT NO PONDING OCCURS.
3. ALL FOUNDATION FOOTINGS SHALL EXTEND INTO AND BEAR AGAINST NATURAL UNDISTURBED SOIL OR APPROVED COMPACTED FILL. FOOTINGS SHALL EXTEND INTO SOIL DEPTH AS INDICATED IN PLANS.
4. SHOULD ANY LOOSE FILL, EXPANSIVE SOIL, GROUND WATER OR ANY OTHER UNEXPECTED CONDITIONS BE ENCOUNTERED DURING THE EXCAVATION FOR THE (N) FOUNDATION, THE ARCHITECT/ENGINEER SHALL BE NOTIFIED AND ALL FOUNDATION WORK SHALL CEASE IMMEDIATELY.
5. WITHIN AN AREA A MINIMUM OF 5 FEET BEYOND THE BUILDING LIMITS, EXCAVATE A MINIMUM OF 4" OF EXISTING SOIL. REMOVE ALL ORGANICS, PAVEMENT, ROOTS, DEBRIS AND OTHERWISE UNSUITABLE MATERIAL.
6. THE SURFACE OF THE EXPOSED SUBGRADE SHALL BE INSPECTED BY PROBING OR TESTING TO CHECK FOR POCKETS OF SOFT OR UNSUITABLE MATERIAL. EXCAVATE UNSUITABLE SOIL AS DIRECTED BY THE GEOTECHNICAL ENGINEER/TESTING AGENCY.
7. PROOF ROLL THE SURFACE OF THE EXPOSED SUBGRADE WITH A LOADED TANDEM AXLE DUMP TRUCK. REMOVE ALL SOILS WHICH PUMP OR DO NOT COMPACT PROPERLY AS DIRECTED BY THE GEOTECHNICAL ENGINEER/TESTING AGENCY.
8. FILL ALL EXCAVATED AREAS WITH APPROVED CONTROLLED FILL. PLACE IN 8" LOOSE LIFTS AND THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-698. COMPACT TO A MINIMUM OF 90% RELATIVE COMPACTION
9. ANY STRUCTURAL DRAWINGS HERE IN REPRESENT THE FINISHED STRUCTURE. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY GUYING AND BRACING REQUIRED TO ERECT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL ALL STRUCTURAL WORK AND CONNECTIONS HAVE BEEN COMPLETED. THE INVESTIGATION, DESIGN, SAFETY, ADEQUACY AND INSPECTION OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

10. THE ARCHITECT/ENGINEER IS NOT RESPONSIBLE FOR COMPLICATIONS, DAMAGES, INJURY, OR DEATH ARISING OUT OF ANY KIND OF NEGLIGENCE PRIOR TO COMPLETION OF THE FINISHED STRUCTURE.
11. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL PROTECT ALL AREAS FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION, AND DAMAGE TO (N) OR EXISTING SURFACES, STRUCTURES OR EQUIPMENT SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF THE PROPERTY OWNER. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGED AREAS.
12. WHEN REQUIRED STORAGE OF MATERIALS OCCURS, THEY SHALL BE EVENLY DISTRIBUTED OVER THE FLOOR OR ROOF SO AS NOT TO EXCEED THE DESIGNED LIVE LOADS FOR THE STRUCTURE. TEMPORARY SHORING OR BRACING SHALL BE PROVIDED WHERE THE STRUCTURE OR SOIL HAS NOT ATTAINED THE DESIGN STRENGTH FOR THE CONDITIONS PRESENT.
13. PRIOR TO PROCEEDING WITH ANY WORK WITHIN AN EXISTING FACILITY, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING STRUCTURAL AND OTHER CONDITIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY BRACING, SHORING AND OTHER SAFEGUARDS TO MAINTAIN ALL PARTS OF THE EXISTING WORK IN A SAFE CONDITION DURING THE PROCESS OF DEMOLITION AND CONSTRUCTION AND TO PROTECT FROM DAMAGE THOSE PORTIONS OF THE EXISTING WORK WHICH ARE TO REMAIN.

1. REVIEW BY THE ARCHITECT/ENGINEER IS FOR GENERAL COMPLIANCE WITH THE DESIGN CONCEPT AND THE CONTRACT DOCUMENTS. MARKINGS OR COMMENTS SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR FROM COMPLIANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, NOR DEPARTURES THERE FROM. THE CONTRACTOR REMAINS RESPONSIBLE FOR DETAILS AND ACCURACY, FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS, FOR SELECTION FABRICATION PROCESSES.

1. A PRECONSTRUCTION CONFERENCE OF REPRESENTATIVES FROM APPLICABLE AGENCIES SHALL BE HELD ON SITE AT LEAST ONCE PRIOR TO BEGINNING CONSTRUCTION AT WHICH TIME A CONSTRUCTION SCHEDULE AND 24-HOUR CONTACT INFORMATION SHALL BE PROVIDED TO LANDLORD/LESSOR.
2. CONTRACTOR SHALL MAINTAIN ACCESS TO THE SITE AT ALL TIMES FOR LANDLORD/LESSOR PERSONNEL. OPEN TRENCHES SHALL BE PROPERLY PLATED AT THE END OF EACH WORKING DAY TO ALLOW FOR 24-HOUR LANDLORD/LESSOR ACCESS TO THE SITE.
3. THE CONTRACTOR AND CELL CARRIER SHALL BE RESPONSIBLE FOR ANY DAMAGE DUE TO CONSTRUCTION ACTIVITIES TO THE EXISTING SITE AND SHALL RETURN DAMAGED FACILITIES TO EXISTING CONDITION OR BETTER AT NO COST TO THE LANDLORD/LESSOR.
4. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (DIG ALERT) AT LEAST TWO (2) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION AT 1-800-422-4133.
5. ALL (N) AND EXISTING FACILITIES OWNED BY THE REPRESENTED CELLULAR CARRIER SHALL BE PROPERLY TAGGED IDENTIFYING THE OWNER'S NAME AND 24-HOUR PHONE NUMBER.
6. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE SITE IS SECURE DURING BOTH WORKING AND NON-WORKING HOURS.

1. SECTION 11B-203.4: LIMITED ACCESS SPACES – SPACES NOT CUSTOMARILY OCCUPIED AND ACCESSED ONLY BY LADDERS, CATWALKS, CRAWL SPACES OR VERY NARROW PASSAGEWAYS SHALL NOT BE REQUIRED TO COMPLY WITH THESE REQUIREMENTS OR TO BE ON AN ACCESSIBLE ROUTE.
2. SECTION 11B-203.5: MACHINERY SPACES – SPACES FREQUENTED ONLY BY SERVICE PERSONNEL FOR MAINTENANCE, REPAIR OR OCCASIONAL MONITORING OF EQUIPMENT SHALL NOT BE REQUIRED TO COMPLY WITH THIS REQUIREMENT OR TO BE ON AN ACCESSIBLE ROUTE. MACHINERY SPACES INCLUDE, BUT ARE NOT LIMITED TO, ELEVATOR PITS OR ELEVATOR PENTHOUSES; MECHANICAL ELECTRICAL OR COMMUNICATIONS EQUIPMENT ROOMS; PIPING OR EQUIPMENT CATWALKS; WATER OR SEWAGE TREATMENT PUMP ROOMS AND STATIONS; ELECTRIC SUBSTATIONS AND TRANSFORMER VAULTS; AND HIGHWAY AND TUNNEL FACILITIES.

1. ALL ANTENNAS AND ANTENNA CABLE SHALL BE FURNISHED BY T-MOBILE WIRELESS AND INSTALLED BY ANTENNA INSTALLATION CONTRACTOR.
2. PRIOR TO INSTALLATION OF ANTENNAS THE CONTRACTOR SHALL VERIFY THAT THE AZIMUTH AND DIMENSIONS SHOWN ON THE PLANS MATCH ACTUAL FIELD CONDITIONS.
3. ANTENNA INSTALLATION CONTRACTOR SHALL PROVIDE ALL CONDUIT, CABLE TRAYS, GROUND KITS, CLAMPS, GROUNDS, ETC., FOR COMPLETE INSTALLATION OF ANTENNAS AND CABLES SHOWN AND INTENDED AS REQUIRED FOR A COMPLETE OPERATING SYSTEM IN ACCORDANCE WITH T-MOBILE WIRELESS STANDARDS.
4. ANTENNA CONDUIT SHALL INCLUDE FACTORY-MADE LARGE RADIUS SWEEPS AT ALL CHANGES IN DIRECTION. SWEEP RADIUS SHALL BE AS REQUIRED TO MEET COAX MANUFACTURER'S MINIMUM BENDING RADIUS.

5. ALL UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 PVC WITH STEEL BENDS. ALL EXPOSED CONDUIT ABOVE GRADE LEVEL SHALL BE IMC OR RIGID GALVANIZED. ALL EXPOSED CONDUIT PROTECTED IN A BUILDING OR ON A ROOF SHALL BE EMT OR UV STABILIZED, PAINTED, SCHEDULE 80 PVC.
6. IN HIGH TRAFFIC AREAS OR WHERE SUSCEPTIBLE TO DAMAGE CONTRACTOR SHALL PROVIDE FORMED 14 GA GALVANIZED SHEET METAL COVER OVER COAXIAL CABLE ROUTES. WHERE CABLE IS RUN ON THE WALL, ATTACH UNISTRUT TO WALL AND COVER WITH 14 GA GALVANIZED FORMED SHEET METAL COVER OR MATERIAL AS DIRECTED BY T-MOBILE WIRELESS PROJECT MANAGER.
7. VERIFY ROUTE AND LENGTH OF CABLE PRIOR TO CUTTING. ADJUST INDICATED ROUTE AS REQUIRED TO CLEAR EXISTING OBSTRUCTIONS AND MAINTAIN REQUIRED CLEARANCE FROM EXISTING EQUIPMENT AND FACILITIES.
8. MAXIMUM LENGTH OF 7/8" COAXIAL CABLE SHALL BE 140'-0". MAXIMUM LENGTH OF 1-5/8" COAXIAL CABLE SHALL BE 240'-0".
9. VERIFY MODEL NUMBERS OF ANTENNAS WITH T-MOBILE WIRELESS SERVICES.
10. THE CONTRACTOR SHALL PROVIDE TESTING OF ANTENNAS AND SHALL PROVIDE DOCUMENTATION TO THE T-MOBILE WIRELESS PROJECT MANAGER.
11. INSTALL EMBOSSED ALUMINUM IDENTIFICATION TAGS AT THE END OF THE MAIN COAXIAL CABLE RUNS, ALONG WITH THE END OF THE JUMPER CABLE LOCATED WITHIN THE PLINTH SECTION OF THE BTS UNIT.

4100 GUARDIAN ST, SUITE 101
SIMI VALLEY, CA 93063

11015 BLOOMFIELD AVE
SANTA FE SPRINGS, CA 90670
LOS ANGELES COUNTY

04/30/18

CONSTRUCTION

REV.:	DATE:	DESCRIPTION:	BY:
A	10/02/17	90% CD, ISSUED FOR REVIEW	RB
1	11/20/17	REVISED PER B&S PLAN CHECK COMMENTS	RB
2	12/20/17	REVISED PER LANDLORD COMMENTS	RB
3	04/27/18	REVISED PER PLAN CHECK COMMENTS	JTA /RB

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DRAWN BY: _____ CHK.: _____ APV.: _____

RB	AB	AB
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GENERAL NOTES

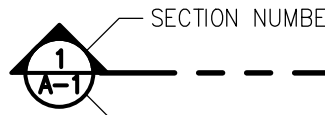
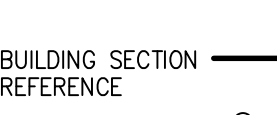
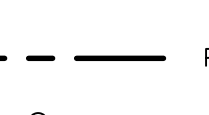
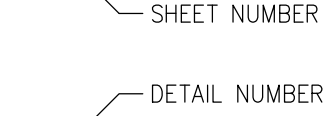
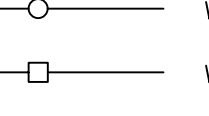
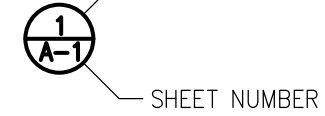
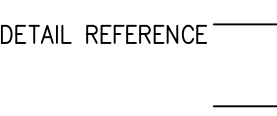
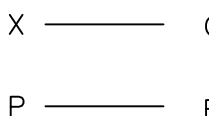
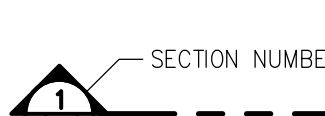
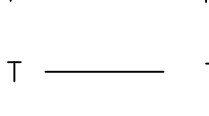
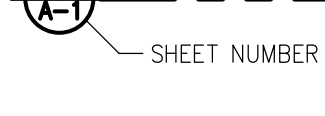
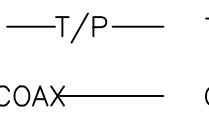
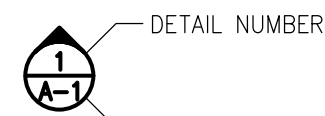
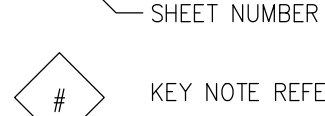
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ABBREVIATIONS

AB	ANCHOR BOLT	LA	LIGHTNING ARRESTOR
AC	ASPHALTIC CONCRETE	LAM	LAMINATED
A.C.	AIR CONDITIONING	LBS	POUNDS
ADJ	ADJUSTABLE	LNA	LOW NOISE AMPLIFIER
A.F.F.	ABOVE FINISH FLOOR	LT	LIGHT
ARCH	ARCHITECTURAL	LTE	LONG TERM EVOLUTION
APPROX.	APPROXIMATELY	MFR	MANUFACTURER
A.G.L.	ABOVE GRADE LEVEL	MAT	MATERIAL
A.M.S.L.	ABOVE MEAN SEA LEVEL	MAX	MAXIMUM
		MECH	MECHANICAL
BD	BOARD	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BLKG	BLOCKING	ML	METAL LATH
BOT	BOTTOM	MO	MASONRY OPENING
BSMT	BASEMENT	MS	MACHINE SCREW
BTS	BASE TRANSCIEVER STATION	MTD	MOUNTED
		MTL	METAL
C	COURSE(S)	(N)	NEW
CEM	CEMENT	NIC	NOT IN CONTRACT
CL	CHAIN LINK	NO	NUMBER
CLG	CEILING	NTS	NOT TO SCALE
CLR	CLEAR		
CO	CONDUIT ONLY	OA	OVERALL
COL	COLUMN	O.C.	ON CENTER
CONC	CONCRETE	OPNG	OPENING
CONST	CONSTRUCTION	OPP	OPPOSITE
CONT	CONTINUOUS		
CORR	CORRIDOR	PARTN	PARTITION
CPRI	COMMON PUBLIC RADIO INTERFACE CABLE	PL	PLATE
		PLAS	PLASTER
DIA	DIAMETER	PLYWD	PLYWOOD
DBL	DOUBLE	POC	POINT OF CONNECTION
DEPT	DEPARTMENT	PROP	PROPERTY
DEMO	DEMOLITION	PSUs	POWER SUPPLY UNIT SYSTEM
DIM	DIMENSION	PT	PRESSURE TREATED
DN	DOWN		
DR	DOOR	R	RISER
DTL	DETAIL	REQD	REQUIRED
DUG	DIGITAL UNIT GSM	RET	REMOTE ELECTRICAL TILT
DUL	DIGITAL UNIT LTE	RD	ROOF DRAIN
DUW	DIGITAL UNIT WCDMA	RM	ROOM
DWG	DRAWING	RMS	ROOMS
		RO	ROUGH OPENING
(E)	EXISTING	SAR M	TELCO INTERFACE UNIT
EA	EACH	SC	SOLID CORE
ELEC	ELECTRIC	SCHED	SCHEDULE
ELEV	ELEVATION	SECT	SECTION
EQUIP	EQUIPMENT	SFP	SMALL PLUGGABLE TRANSCIEVER
EXP	EXPANSION	SHT	SHEET
EXT	EXTERIOR	SIM	SIMILAR
		SPECS	SPECIFICATIONS
FA	FIRE ALARM	SS	STAINLESS STEEL
FB	FLAT BAR	STL	STEEL
FF	FINISH FLOOR	STOR	STORAGE
FH	FLAT HEAD	STRUCT	STRUCTURAL
FIN	FINISH(ED)	SUSP	SUSPENDED
FLR	FLOOR	SW	SWITCH
FOS	FACE OF STUDS	SWBO	SWITCHBOARD
FS	FINISH SURFACE		
FT	FOOT, FEET	THK	THICK
FTG	FOOTING	TI	TENANT IMPROVEMENT
FW	FINISH WALL	TMA	TOWER MOUNTED AMPLIFIER
F.G.	FINISH GRADE	TOS	TOP OF SURFACE
FUT	FUTURE	TS	TUBE STEEL
		TYP	TYPICAL
GA	GAUGE	UNO	UNLESS NOTED OTHERWISE
GALV	GALVANIZED		
GL	GLASS	VCT	VINYL COMPOSITION TILE
GR	GRADE	VERT	VERTICAL
GYP	GYPSUM	V.I.F.	VERIFY IN FIELD
GFCI	GROUND FAULT CIRCUIT INTERRUPT	VG	VERTICAL GRAIN
GND	GROUND	W/	WITH
GPS	GLOBAL POSITIONING SYSTEM	WCDMA	WIREBAND CODE DIVISION MULTIPLE ACCESS
GSM	GLOBAL SYSTEM FOR MOBILE COMMUNICATION	WD	WOOD
		WR	WATER RESISTANT
HC	HOLLOW CORE	WT	WEIGHT
HDW	HARDWARE	XFMR	TRANSFORMER
HTR	HEATER	⊙	AT
HM	HOLLOW METAL	⌈	CHANNEL
HORIZ	HORIZONTAL	⌋	CENTERLINE
HR	HOUR	∠	ANGLE
HT	HEIGHT	ℓ	PROPERTY LINE
HV	HIGH VOLTAGE		
ID	INSIDE DIMENSION		
INS	INSULATION		
INT	INTERIOR		
JT	JOINT		

SYMBOLS

	SECTION NUMBER		BUILDING SECTION REFERENCE		PROPERTY LINE
	SHEET NUMBER				WROUGHT IRON FENCE
	DETAIL NUMBER		DETAIL REFERENCE		CHAIN LINK FENCE
	SHEET NUMBER				POWER SERVICE
	SHEET NUMBER		CROSS SECTION REFERENCE		TELCO SERVICE
	DETAIL NUMBER				TELCO AND POWER SERVICES
	SHEET NUMBER				COAX CABLE
	KEY NOTE REFERENCE				GROUNDING

PAINTING SPECIFICATIONS

- A. GENERAL
- ALL PAINT PRODUCT LINES SHALL BE SHERWIN WILLIAMS UNLESS SPECIFICALLY NOTED OTHERWISE.
 - CONTRACTOR SHALL PREPARE ALL SURFACES AND APPLY ALL FINISHES PER LATEST EDITION OF MANUFACTURER'S SPECIFICATIONS.
 - COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS REGARDING SUFFICIENT DRYING TIME BETWEEN COATS WITH PROVISIONS AS RECOMMENDED BY MANUFACTURER FOR EXISTING WEATHER CONDITIONS.
 - FINISH COLOR AND TEXTURE OF ALL PAINTED SURFACES SHALL MATCH EXISTING ADJACENT SURFACES UNLESS OTHERWISE NOTED.
 - ALL PAINT MATERIAL DATA SHEETS SHALL BE PROVIDED TO THE CINGULAR WIRELESS CONSTRUCTION MANAGER.
 - PREPARE PREVIOUSLY PAINTED SURFACE BY LIGHT SANDING WITH 400 GRIT SANDPAPER AND NON-HYDROCARBON WASH. PREPARE GALVANIZED SURFACES BY ACID ETCH OR SOLVENT CLEANING IN ACCORDANCE WITH SSPC-SP1.
 - FURNISH DROP CLOTHES, SHIELDS, MASKING AND PROTECTIVE METHODS TO PREVENT SPRAY OR DROPPINGS FROM DAMAGING ADJACENT SURFACES AND FACILITIES.
 - APPLY PAINT BY AIRLESS SPRAY, SANDING LIGHTLY BETWEEN EACH SUCCEEDING ENAMEL COAT ON FLAT SURFACES. APPLY MATERIAL TO ACHIEVE A COATING NO THINNER THAN THE DRY FILM THICKNESS INDICATED.
 - APPLY BLOCK FILTER TO CONCRETE BLOCK CONSTRUCTION AT A RATE TO ENSURE COMPLETE COVERAGE WITH PORES COMPLETELY FILLED.
 - CONTRACTOR SHALL CORRECT RUNS, SAGS, MISSES AND OTHER DEFECTS INCLUDING INADEQUATE COVERAGE AS DIRECTED BY THE CINGULAR WIRELESS CONSTRUCTION MANAGER. REPAINT AS NECESSARY TO ACHIEVE SURFACES WHICH ARE SMOOTH, EVENLY COATED WITH UNIFORM SHEEN AND FREE FROM BLEMISHES.
- B. PAINTING SCOPE
- PAINT THE FOLLOWING MATERIALS AND SYSTEMS CHECKED BELOW WITH THE COATING SYSTEM INDICATED.

PAINTING SCOPE					
SURFACE TO BE PAINTED		COATING SYSTEM	PAINT	DO NOT PAINT	N/A
BTS UNIT					
ALL EQUIPMENT & CABINETS OTHER THAN THE BTS UNIT					
ANTENNA COVERS, TILT BRACKETS, MOUNTING BRACKETS AND ASSOCIATED HARDWARE, CABLE AND CABLE COVERS EXPOSED TO VIEW, EXPOSED CONDUIT AND HANGERS, ETC.					
FLASHING UNITS, METAL TRIM AND OTHER METAL SURFACES					
STUCCO, CONCRETE, CONCRETE BLOCK AND CEMENTIOUS TYPE FINISH SYSTEMS.					
PLYWOOD, LUMBER AND WOOD TRIM INCLUDING THE BACK SIDE OF ALL SCREENWALLS					
DRYWALL					
CONCRETE POLES					
METAL POLES AND METAL POLE STAND-OFF					

- C. COATING SYSTEM SPECIFICATIONS
- DTM ACRYLIC COATING (SERIES B66) BY SHERWIN WILLIAMS CO. 1MIL DFT PER COAT APPLIED IN TWO COATS OVER DTM BONDING PRIMER (B66A50).
 - 100% ACRYLIC, LATEX COATING EQUIVALENT TO A-100 (SERIES A-82) BY SHERWIN WILLIAMS CO. 1 MIL DFT PER COAT APPLIED IN TWO COATS OVER SPECIFIED PRIMER
- PAINT & PRIMER
- D. ANTENNAS
- PRIMER – KEM AQUA E61–W525
TOPCOAT – COROTHANE II B65W200/B60V22
- BTS CABINET
- PRIMER – KEM AQUA E61–W525
TOPCOAT – COROTHANE II B65W200/B60V22
- COAXIAL JUMPER CABLES
- PRIMER – AS REQUIRED FOR ADHESION. APPLY ONE COAT OF KEM AQUA WATER REDUCIBLE PRIMER E61W25 REDUCED 25%
TOPCOAT – 2 COATS COROTHANE II POLYURETHANE B65W200/B60V2
- RAW STEEL
- PRIMER – KEM BOND HS B50WZ4, DMT ACRYLIC PRIMER
TOPCOAT – 2 COATS COROTHANE II POLYURETHANE B65W200/B60V2
- GALVANIZED METAL
- ACID ETCH WITH COMMERCIAL ETCH OR VINEGAR PRIMER COAT AND FINISH COAT (GALVITE HIGH SOLIDS OR DTM PRIMER/FINISH)

STAINLESS STEEL
PRIMER – OTM WASH PRIMER, B71Y1
TOPCOAT – 2 COATS COROTHANE II POLYURETHANE B65W200/B60V2

PRE-PRIMED STEEL
TOUCH UP ANY RUST OR UN-PRIMED STEEL WITH KEM BOND HS, SS0WZ4

ALUMINUM & COPPER
PRIMER – DTM WASH PRIMER, B71Y1
TOPCOAT – 2 COATS COROTHANE II POLYURETHANE B65W200/B60V2

CONCRETE MASONRY
PRIMER – PRO MAR EXTERIOR BLOCK FILLER
TOPCOAT – 2 COATS A-100 LATEX HOUSE & TRIM, SHEEN TO MATCH

CONCRETE STUCCO(EXISTING)
2 COATS A-100 LATEX HOUSE & TRIM, SHEEN TO MATCH

STUCCO
PRIMER – PRO MAR MASONRY CONDITONER B-46–W21000
TOPCOAT – SUPERPAINT A-80 SERIES A-89 SATIN A-84 GLOSS

WOOD
PRIMER – A-100 EXTERIOR ALKYD W009D PRIMER Y-24W20
TOPCOAT – 2 COATS A-100 LATEX HOUSE & TRIM SHEEN TO MATCH ADJACENT SURFACES

FIELD CUTS/DAMAGE(PRIOR TO PRIME & PAINT)
FIRST & SECOND COAT – CUPRINOL CLEAR WOOD PRESERVATIVE #158-0356
ALL PENETRATIONS INTO FINISHED CLU-LAMS SHALL BE CAULKED WITH "SIKAFLEX" SEALANT

STEEL TOUCH UP
STEEL THAT HAS BEEN WELDED, CUT OR SCRATCHED IN THE FIELD SHALL BE TOUCHED UP WITH COLD GALVANIZED PAINT

T-Mobile
Stick Together

4100 GUARDIAN ST, SUITE 101
SIMI VALLEY, CA 93063

PROJECT INFORMATION:

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LA74741C
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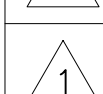
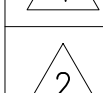
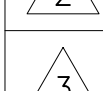
CURRENT ISSUE DATE:

04/30/18

ISSUED FOR:

CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

	10/02/17	90% CD, ISSUED FOR REVIEW	RB
	11/20/17	REVISED PER B&S PLAN CHECK COMMENTS	RB
	12/20/17	REVISED PER LANDLORD COMMENTS	RB
	04/27/18	REVISED PER PLAN CHECK COMMENTS	JTA/RB

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DRAWN BY: CHK.: APV.:

RB	AB	AB
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LICENSURE:



SHEET TITLE:

ABBREVIATIONS,
SPECIFICATIONS &
SYMBOLS

SHEET NUMBER: REVISION:

T-3

3

LA74741C

GENERAL NOTES

1. ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND CBC-13 SPECIFICATIONS.
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND CONDITIONS OF ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS. ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE STRUCTURAL ENGINEER IMMEDIATELY AND SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK.
3. STRUCTURAL DRAWINGS SHALL WORK IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
4. DESIGN, MATERIALS, EQUIPMENT, AND PRODUCTS OTHER THAN THOSE DESCRIBED OR INDICATED ON THE DRAWINGS MAY BE CONSIDERED FOR USE PROVIDED PRIOR APPROVAL IS OBTAINED FROM THE STRUCTURAL ENGINEER.
5. ALL CONDITIONS SHOWN OR NOTED AS EXISTING ARE BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE DRAWINGS. NO WARRANTY IS IMPLIED TO THEIR ACCURACY. CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS. SHOULD CONDITIONS BECOME APPARENT THAT DIFFER FROM THE CONDITIONS SHOWN, THEY SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE PROFESSIONAL ENGINEER. PROFESSIONAL ENGINEER WILL THEN PREPARE ADDITIONAL DRAWINGS AS MAY BE NEEDED TO ACCOMMODATE THE CONDITIONS AS BROUGHT TO THEIR ATTENTION.
6. MECHANICAL EQUIPMENT MUST BE FIRMLY ATTACHED TO THE STRUCTURE. ISOLATORS, FASTENERS, AND OTHER ELEMENTS PROVIDING STABILITY FOR MECHANICAL EQUIPMENT SHALL BE CAPABLE OF TRANSMITTING CODE REQUIRED LOADS, BUT IN NO EVENT LESS THAN A SHEAR LOAD EQUIVALENT TO 0.45 TIMES THE OPERATING WEIGHT OF THE EQUIPMENT.
7. WATERPROOFING: SEE ARCHITECTURAL DRAWINGS.
8. THE FOUNDATION DESIGN IS BASED ON CBC-13 TABLE 1806.2. ALLOWABLE SOIL BEARING VALUE IS 1500.
9. THE NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS.
10. TYPICAL DETAILS MAY NOT NECESSARILY BE CUT ON PLANS, BUT APPLY UNLESS NOTED OTHERWISE.

CONCRETE

1. ALL POURED-IN-PLACE CONCRETE SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. UNLESS OTHERWISE NOTED, CEMENT TO BE TYPE-8 FROM TESTED STOCK PER ASTM C-150.
2. CONCRETE FORM TOLERANCES SHALL BE WITHIN THE STANDARDS SET BY THE AMERICAN CONCRETE INSTITUTE.
3. ALL REINFORCING STEEL, ANCHOR BOLTS, DOWELS OR OTHER INSERTS SHALL BE SECURED IN POSITION AND INSPECTED BY THE LOCAL BUILDING DEPARTMENT INSPECTOR PRIOR TO THE POURING OF ANY CONCRETE.
4. NO PIPES OR DUCTS SHALL BE PLACED IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED. REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR LOCATIONS.
5. FORM EXPOSED CORNERS OF COLUMNS, BEAMS, WALLS, ETC. WITH 3/4" CHAMFERS UNLESS DETAILED OTHERWISE.
6. PROVIDE LIGHT BROOM FINISH ON ALL EXPOSED CONCRETE UNLESS NOTED OTHERWISE.

REINFORCING STEEL

1. REINFORCING STEEL SHALL CONFORM TO ASTM A-615 GRADE 60 U.N.O.
2. BARS SHALL BE CLEAN OF MUD, OIL, OR OTHER COATINGS LIKELY TO IMPAIR BONDING.
3. ALL REINFORCING SHALL BE SECURED IN PLACE PRIOR TO PLACING CONCRETE OR GROUTING MASONRY. ALL REINFORCING SHALL BE CHAIRED TO ENSURE PROPER CLEARANCES. SUPPORT OF FOUNDATION REINFORCING MUST PROVIDE ISOLATION FROM MOISTURE/CORROSION BY USE OF A PLASTIC OR CONCRETE CHAIR. DUCT-TAPE IS NOT AN ACCEPTABLE MOISTURE/CORROSION PROTECTION.
4. REINFORCING STEEL SHALL BE SPLICED AS SHOWN OR NOTED. SPLICES AT OTHER LOCATIONS SHALL BE REVIEWED BY THE STRUCTURAL ENGINEER. ALL VERTICAL WALL REINFORCEMENT SHALL BE CONTINUOUS BETWEEN SPLICE LOCATIONS SHOWN IN THE DRAWINGS.
5. ALL GRADE 60 REINFORCING TO BE WELDED SHALL BE ASTM A706.
6. CLEAR CONCRETE COVERAGE IS AS FOLLOWS:

CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3"
EXPOSED TO EARTH OR WEATHER	
#6 OR LARGER	2"
#5 AND SMALLER	1-1/2"
COLUMNS (TO TIES)	1-1/2"
BEAMS (TO STIRRUPS)	1-1/2"
FLAT SLABS	3/4"
WALLS	SEE SCHEDULE AND OR DETAILS
ALL OTHER PER LATEST EDITION OF ACI 318	

STRUCTURAL STEEL

1. THE LABOR, MATERIALS AND EXECUTION REQUIRED FOR ALL CONCRETE WORK AS INDICATED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH THOSE APPLICABLE PORTIONS OF CHAPTER 22 OF THE LATEST ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE.
2. STRUCTURAL STEEL NOT ENCASED IN CONCRETE SHALL BE SHOP PAINTED WITH TNEC99 METAL PRIMER OR APPROVED EQUIVALENT.
3. UNLESS NOTED OTHERWISE, ALL BOLTS SHALL BE ASTM A307. THIS INCLUDES EXPANSION/ADHESIVE ANCHORS. BOLTED CONNECTIONS SHALL CONFORM TO AISC SPECIFICATIONS UNLESS NOTED OTHERWISE ON THE DRAWINGS.
4. UNLESS NOTED OTHERWISE ALL WELDS PER THE LATEST EDITIONS OF THE AWS STANDARDS SHALL CONFORM TO AISC SPECIFICATIONS. WELDING SHALL BE PERFORMED BY WELDERS HOLDING VALID CERTIFICATES AND HAVING CURRENT EXPERIENCE IN THE TYPE OF WELD SHOWN ON THE DRAWINGS OR NOTES. THESE DRAWINGS DO NOT DISTINGUISH BETWEEN SHOP AND FIELD WELDS.
5. CONTRACTOR IS PERMITTED TO CUT AND WELD ANTENNA SUPPORT ASSEMBLY ARMS AS NECESSARY TO MEET THE LENGTH REQUIREMENTS IN THE FIELD. WELDS SHALL CONSIST OF A 3/16" FILLET ALL THE WAY AROUND FOR 1/4" THICK STEEL OR LESS AND 3/8" FILLET WELD FOR STEEL 1/2" THICK OR LESS. CONTRACTOR SHALL RESTORE CORROSION BARRIER WITH AN APPROVED PAINT IN ACCORDANCE WITH BS 729-1971 AND PREN 1029."

STRUCTURAL NOTES (CONTINUATION)

6. MATERIAL CONFORMANCE:

A. WIDE FLANGE STEEL SECTIONS PER ASTM A572 OR A992 WITH Fy = 50 KSI
B. PIPES SECTIONS PER ASTM A501 WITH Fy = 36 KSI
C. TUBE STEEL SECTIONS PER ASTM A500 WITH Fy = 46 KSI
D. COLD FORMED STEEL PER ASTM A653 WITH Fy = 50 KSI
E. WELDING ELECTRODES PER AWS CODE, E70XX UNLESS NOTED OTHERWISE ON PLANS
F. ALL OTHER MISCELLANEOUS STEEL SHALL BE ASTM A36 WITH Fy = 36 KSI UNLESS NOTED OTHERWISE ON THE PLANS
- ADHESIVE / MECHANICAL ANCHORS
1. ALL POST-INSTALLED ANCHORS SHALL BE PER SIMPSON OR HILTI MANUFACTURING AS INDICATED ON THE PLANS.
2. MECHANICAL ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING APPROVAL CODES:

FOR HILTI KWIK BOLT 3 ANCHORS, INSTALLATION SHALL COMPLY WITH ICC-ES ESR-1385 AND LARR 25901 FOR ANCHORAGE TO MASONRY. FOR HILTI KWIK BOLT ANCHORS, INSTALLATION SHALL COMPLY WITH ICC-ES ESR-1917 AND LARR 25701 FOR ANCHORAGE TO CONCRETE.		
ADHESIVE ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING APPROVAL CODES: <table><tr><td>FOR SIMPSON SET-XP EPOXY ANCHORS, INSTALLATION SHALL BE IN ACCORDANCE WITH ICC-ES ESR-2508 AND LARR 25744 FOR ANCHORAGE TO CONCRETE, IAPMO UES ER-265 AND LARR 25965 FOR ANCHORAGE TO MASONRY.</td></tr><tr><td>FOR HILTI HIT-HY 200 EPOXY ANCHORS, INSTALLATION SHALL BE IN ACCORDANCE WITH ICC ESR-3187 AND LARR 25964 FOR ANCHORAGE TO CONCRETE.</td></tr></table>	FOR SIMPSON SET-XP EPOXY ANCHORS, INSTALLATION SHALL BE IN ACCORDANCE WITH ICC-ES ESR-2508 AND LARR 25744 FOR ANCHORAGE TO CONCRETE, IAPMO UES ER-265 AND LARR 25965 FOR ANCHORAGE TO MASONRY.	FOR HILTI HIT-HY 200 EPOXY ANCHORS, INSTALLATION SHALL BE IN ACCORDANCE WITH ICC ESR-3187 AND LARR 25964 FOR ANCHORAGE TO CONCRETE.
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FOR HILTI HIT-HY 200 EPOXY ANCHORS, INSTALLATION SHALL BE IN ACCORDANCE WITH ICC ESR-3187 AND LARR 25964 FOR ANCHORAGE TO CONCRETE.		
3. ALLOW A MINIMUM OF 72 HOURS AFTER NEW CONCRETE IS PLACED PRIOR TO LOCATING MECHANICAL OR ADHESIVE ANCHORS. ALL MECHANICAL/ADHESIVE ANCHORS REQUIRE SPECIAL STRUCTURAL INSPECTION PER THE BUILDING CODE.

MASONRY

1. CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90, MEDIUM WEIGHT, GRADE N WITH Fm = 1500 PSI.
2. MORTAR TYPE S, Fm = 1800 PSI
3. PROVIDE EXPANSION JOINTS IN MASONRY WALLS EVERY 24'-0" O.C.
4. VERTICAL REINFORCING SHALL BE 1 #5 VERTICAL IN CENTER OF GROUTED CELL CONTINUOUS FULL HEIGHT OF WALL AT ALL CORNERS, INTERSECTIONS, WALL ENDS, BEAM BEARINGS, JAMBS, EACH SIDE OF CONTROL JOINTS AND AT INTERVALS NOT TO EXCEED 48" O.C. UNLESS NOTED OTHERWISE ON THE PLANS. TIE AT 8'-0" O.C. VERTICALLY WITH SINGLE WIRE LOOP TIE BY AA WIRE PRODUCTS COMPANY OR EQUIVALENT. DOWEL VERTICAL REINFORCING TO FOUNDATION WITH DOWELS TO MATCH VERTICAL REINFORCING.
5. HORIZONTAL REINFORCING SHALL CONSIST OF 2 #5 CONTINUOUS AT ELEVATED FRAMING ASSEMBLIES. 1 #5 CONTINUOUS AT TOP OF PARAPETS AND FREESTANDING WALLS. PLACE THESE BARS CONTINUOUS THROUGH CONTROL JOINTS. INSTALL BENT BARS TO MATCH HORIZONTAL REINFORCING AT CORNERS AND INTERSECTIONS TO MAINTAIN BOND BEAM CONTINUITY. STANDARD WEIGHT (NO. 9 GAGE WIRE) DUR-O-WALL OR DUR-O-WIRE (OR EQUIVALENT) LADDER TYPE JOINT REINFORCING AT 16" O.C. LAP LADDER TYPE JOINT REINFORCING 12" MINIMUM.
6. LAP SPLICES FOR VERTICAL AND HORIZONTAL REINFORCING SHALL BE PER TYPICAL DETAILS. DO NOT SPLICE WITHIN 8'-0" OF CONTROL JOINTS.

WOOD

1. IN STUD WALLS, UNLESS NOTED OTHERWISE, INSTALL DOUBLE STUDS AT ALL JAMBS, CORNERS, INTERSECTIONS AND AT ISOLATED BEARING POINTS OF FRAMING MEMBERS ABOVE. EVERY OTHER STUD OF WOOD FRAME BEARING WALL SHALL HAVE A SIMPSON H3 ANCHOR TOP AND BOTTOM, EXCEPT AT THOSE WALLS WHERE PLYWOOD SHEATHING IS NAILED DIRECTLY TO THE TOP AND BOTTOM PLATES. PROVIDE 2X SOLID BLOCKING AT MID-HEIGHT OF BEARING STUD WALLS.
2. SAWN LUMBER FRAMING SHALL COMPLY WITH THE LATEST EDITION OF THE GRADING RULES OF THE NWFA OR THE WCLB. ALL SAWN LUMBER SHALL BE STAMPED WITH THE GRADE, MARK OF AN APPROVED LUMBER GRADING AGENCY AND SHALL HAVE MINIMUM PROPERTIES WHICH MEET OR EXCEED THE FOLLOWING WOOD TYPES:

MEMBER	WOOD TYPE
JOISTS	
2X4 (PANELIZED)	D.F. SELECT
2X4	D.F. #2
2X6 OR LARGER	D.F. #2
BEAMS	
WIDTH OF 4" OR LESS	D.F. #1
WIDTH GREATER THAN 4"	D.F. SELECT
LEDGERS AND TOP PLATES	D.F.#2
STUDS	
2X4	D.F. STD
2X6 OR LARGER	D.F. #2
POSTS	
4X4	D.F. #2
6X6 OR LARGER	D.F. SELECT

3. GLU-LAMINATED BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2,400 PSI, Fy = 240 PSI, E = 1,800,000 PSI. BEAMS CANTILEVERING OVER SUPPORTS SHALL HAVE THE SPECIFIED MINIMUM PROPERTIES TOP AND BOTTOM. ALL BEAMS SHALL BE FABRICATED USING WATERPROOF GLUE. FABRICATION AND HANDLING PER LATEST AITC AND WCLB STANDARDS. BEAMS TO BEAR GRADE. STAMP AND ATO STAMP AND CERTIFICATE. CAMBER AS SHOWN ON DRAWINGS. IN THE ABSENCE OF CAMBER SHOWN ON THE PLAN, PROVIDE STANDARD CAMBER. STANDARD CAMBER IS DEFINED AS A RADIUS OF CURVATURE EQUAL TO 2500 FEET.
4. PLYWOOD SHALL BE APA "CDX" RATED SHEATHING OR BETTER AND SHALL BEAR THE STAMP OF AN APPROVED TESTING AGENCY. LAY UP PLYWOOD WITH FACE GRAIN PERPENDICULAR TO SUPPORTS. (ON ROOFS WHERE PLYWOOD IS LAYED UP WITH FACE GRAIN PARALLEL TO SUPPORTS, USE A MINIMUM OF 5-PLY PLYWOOD). STAGGER JOINTS. ALL NAILING SHALL BE COMMON NAILS UNLESS NOTED OTHERWISE. WHERE SCREWS ARE INDICATED FOR WOOD TO WOOD ATTACHMENTS, USE WOOD SCREWS. ALL PLYWOOD SHALL BE OF THE FOLLOWING NOMINAL THICKNESS, SPAN/INDEX RATIO AND SHALL BE ATTACHED AS FOLLOWS UNLESS NOTED OTHERWISE.

USE	THICKNESS	SPAN/INDEX RATIO	ATTACHMENT EDGE	INTERMEDIATE
ROOF	5/8"	32/16	10d@6" O.C.	10d@12" O.C.
ROOF	3/4"	40/20	10d@6" O.C.	10d@12" O.C.
FLOOR	3/4"	40/20	SCREWS@6" O.C.	SCREWS@12" O.C.
SHEAR WALL	3/8"	24/0	8d@6" O.C.	8d@12" O.C.

FIBER REINFORCED PLASTIC (FRP)

1. ALL CONNECTIONS SHALL BE 5/8" DIAMETER FIBER BOLTS, U.N.O. (PULTEX 1625 OR EQUIVALENT) AND ALL HOLES UNLESS NOTED OTHERWISE SHALL BE PUNCHED OR DRILLED 1/8" LARGER IN DIAMETER THAN THE BOLTS THEY RECEIVE.
2. ALL CONTACT SURFACES OF FRP STRUCTURAL SHAPES AND/OR HYBRID POLYMER COMPOSITE ARCHITECTURAL PANELS SHALL BE BONDED PER MANUFACTURER'S RECOMMENDATIONS. USE 1" FRP SCREEN SKIN AND EPOXY GLUE SKIN TO FRAMING MEMBERS WITH 5/8" DIAMETER FIBER BOLTS AT 24" O.C. EIFS SHALL MATCH BUILDING AND BE ATTACHED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
3. ALL LIQUID NAILS MULTI-PURPOSE CONSTRUCTION ADHESIVE SHALL BE PER MACCO OR APPROVED EQUIVALENT. BONDING SURFACE SHALL BE CAREFULLY PREPARED TO ENSURE A GOOD ADHESIVE BOND BY WIPING THE SURFACE WITH A STERILIZING SOLVENT, REMOVING SURFACE GLOSS BY LIGHT SANDING, APPLY ADHESIVE, AND FASTEN OR CLAMP BONDING SURFACES UNTIL CURED.
4. ALL EXPOSED JOINTS AT ARCHITECTURAL PANELS AND SHAPES (EDGES, CORNERS, ETC.) SHALL BE CAULKED WITH AN APPROVED FLEXIBLE POLYURETHANE SEALANT/CAULK.
5. ALL OPEN ENDS OR GAPS OF SCREEN FRAMING WHERE WATER SUSCEPTIBLE TO WATER INFILTRATION SHALL BE WEATHER CAPPED OR SEALED BY THE GENERAL CONTRACTOR.
6. ALL FRP MATERIAL TO BE LOCATED IN THE CITY OF LOS ANGELES SHALL CONFORM TO LARR 25536.
7. ALL FRP MATERIAL SHALL CONFORM TO ASTM D-638, 695, 790, 2344, 732, ADDITIONALLY WITH BOLTS CONFORMING TO ASTM B-565. ALL FRP MATERIAL SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES FOR ALLOWABLE STRESS DESIGN (BASED ON A SAFETY FACTOR OF 7). VALUES ARE REPRESENTED IN KSI.

MECHANICAL PROPERTY	LENGTHWISE	CROSSWISE
TENSILE STRESS Ft	4.3	1.0
COMPRESSIVE STRESS Fc	4.3	2.1
FLEXURAL STRESS Fy	4.3	1.4
MODULUS OF ELASTICITY E	2.8X10 ⁶	--
SHEAR Fv	0.6	--
BOLT SHEAR	1.2	--

SPECIAL STRUCTURAL INSPECTION – STRUCTURAL ONLY

1. SPECIAL STRUCTURAL INSPECTION IS TO BE PROVIDED FOR THE ITEMS LISTED BELOW IN ADDITION TO THE INSPECTIONS CONDUCTED BY THE BUILDING JURISDICTION. SPECIAL STRUCTURAL INSPECTION IS REQUIRED FOR THE FOLLOWING:

VERIFICATION AND INSPECTION	INSPECTION TYPE CONTINUOUS PERIODIC	REFERENCE STANDARD
STEEL CONSTRUCTION		
WELDING		
AT FLOOR AND ROOF DECK WELDS	X	AWS D1.3
FOR REINFORCING STEEL	X	AWS D1.4, ACI 318
FOR STRUCTURAL STEEL	X	
CONCRETE CONSTRUCTION		
REINFORCING STEEL	X	ACI 318: 3.5, 7.1-7.7
POST-INSTALLED ANCHORS	X	ACI 318: 3.8.6, 8.1.3, 21.2.8
USE OF REQUIRED DESIGN MIX	X	ACI 318: CHAPER 4, 5.2-5.4
MASONRY CONSTRUCTION		TMS 402 AND 602/ACI 530/ASCE 5, 6
REINFORCING STEEL		
GROUT PLACEMENT	X	
CLEANOUTS PRIOR TO CLOSURE	X	
POST-INSTALLED ANCHORS	X	
LARR 25891 ICC-ESR-3037		
LARR 25701 ICC-ESR-1917		
LARR 25965 ICC-ER-265		
LARR 25964 ICC-ES-ESR-3187		

2. THE SPECIAL INSPECTOR SHALL OBSERVE THE WORK ASSIGNED TO BE CERTAIN THAT IT CONFORMS TO THE APPROVED DESIGN DRAWINGS AND SPECIFICATIONS. THE SPECIAL INSPECTOR IS NOT AUTHORIZED TO APPROVE DEVIATIONS FROM THE DESIGN DRAWINGS OR SPECIFICATIONS AND ALL DEVIATIONS MUST BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO PROCEEDING WITH THE WORK. ALL REQUESTS FOR DEVIATIONS SHALL BE INITIATED BY THE CONTRACTOR VIA A WRITTEN REQUEST FOR INFORMATION.
3. THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL AND TO THE ENGINEER OF RECORD. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION, THEN, IF UNCORRECTED TO THE DESIGN AUTHORITY AND THE BUILDING OFFICIAL.
4. CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE SPECIAL INSPECTOR ACCESS TO ALL ITEMS REQUIRING SPECIAL INSPECTION. INSPECTOR IS NOT AUTHORIZED TO OPERATE CONTRACTOR'S EQUIPMENT.
5. FOR ADDITIONAL INFORMATION ON SPECIAL STRUCTURAL INSPECTIONS, CONTACT THE ENGINEER OF RECORD PRIOR TO START OF CONSTRUCTION.

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PROJECT INFORMATION:

(NSB)
LA74741C
ALURTIS
11015 BLOOMFIELD AVE
SANTA FE SPRINGS, CA 90670
LOS ANGELES COUNTY

CURRENT ISSUE DATE:

04/30/18

ISSUED FOR:

CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

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2	12/20/17	REVISED PER LANDLORD COMMENTS	RB
3	04/27/18	REVISED PER PLAN CHECK COMMENTS	JTA/RB

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CONSULTANT:



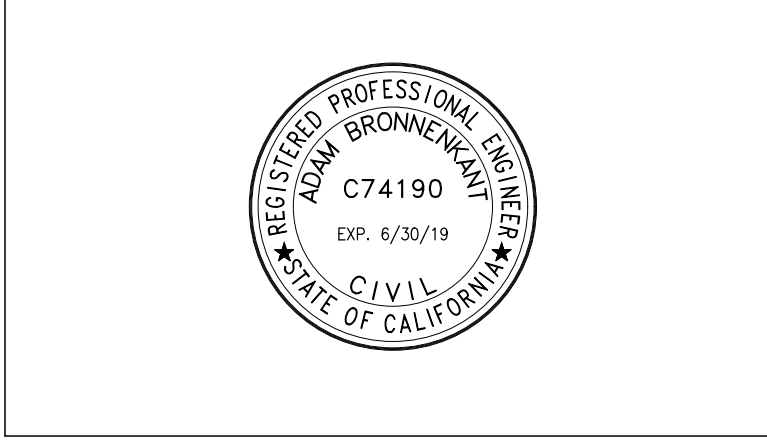
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RB	AB	AB
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LICENSURE:



SHEET TITLE:

GENERAL STRUCTURAL
NOTES

SHEET NUMBER: REVISION:

T-4	3
	LA74741C

NOTE:
G.C. TO REMOVE WEEDS, CLEAN UP
WITHIN SBA LEASE AREA. REPAIR CRACK
ON EXISTING CONCRETE TO AVOID WEEDS
GROWING

NOTE:
THESE DRAWINGS HAVE BEEN CREATED BY INFORMATION
GATHERED FROM (E) AS-BUILTS PROVIDED BY T-MOBILE
AND WITHOUT A SURVEY. PLEASE VERIFY IN FIELD ALL
DIMENSIONS, LENGTHS, PROPERTY LINES AND CONDUIT RUNS.

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SHEET TITLE:

OVERALL SITE PLAN

SHEET NUMBER: REVISION:

A-1

3

LA74741C

SECTOR "A"
0'

LAKELAND ROAD

T-MOBILE ACCESS
EASEMENT

(E) PROPERTY LINE

(E) 12'-0" WIDE
ACCESS EASEMENT

(E) PARKING
SPACES

BLOOMFIELD AVENUE

PROPOSED T-MOBILE
FACILITY. SEE ENLARGED
PLANS.

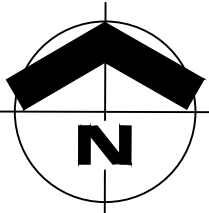
1,3
A-2

1,2
A-2.1

FOREST PLACE

SECTOR "C"
240'

SECTOR "B"
130'



OVERALL SITE PLAN

SCALE:
1/32"=1'-0"

0 10' 20' 50'

1

T

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LICENSURE:

REGISTERED PROFESSIONAL ENGINEER
ADAM BRONKHORST
C74190
EXP. 6/30/19
CIVIL
STATE OF CALIFORNIA

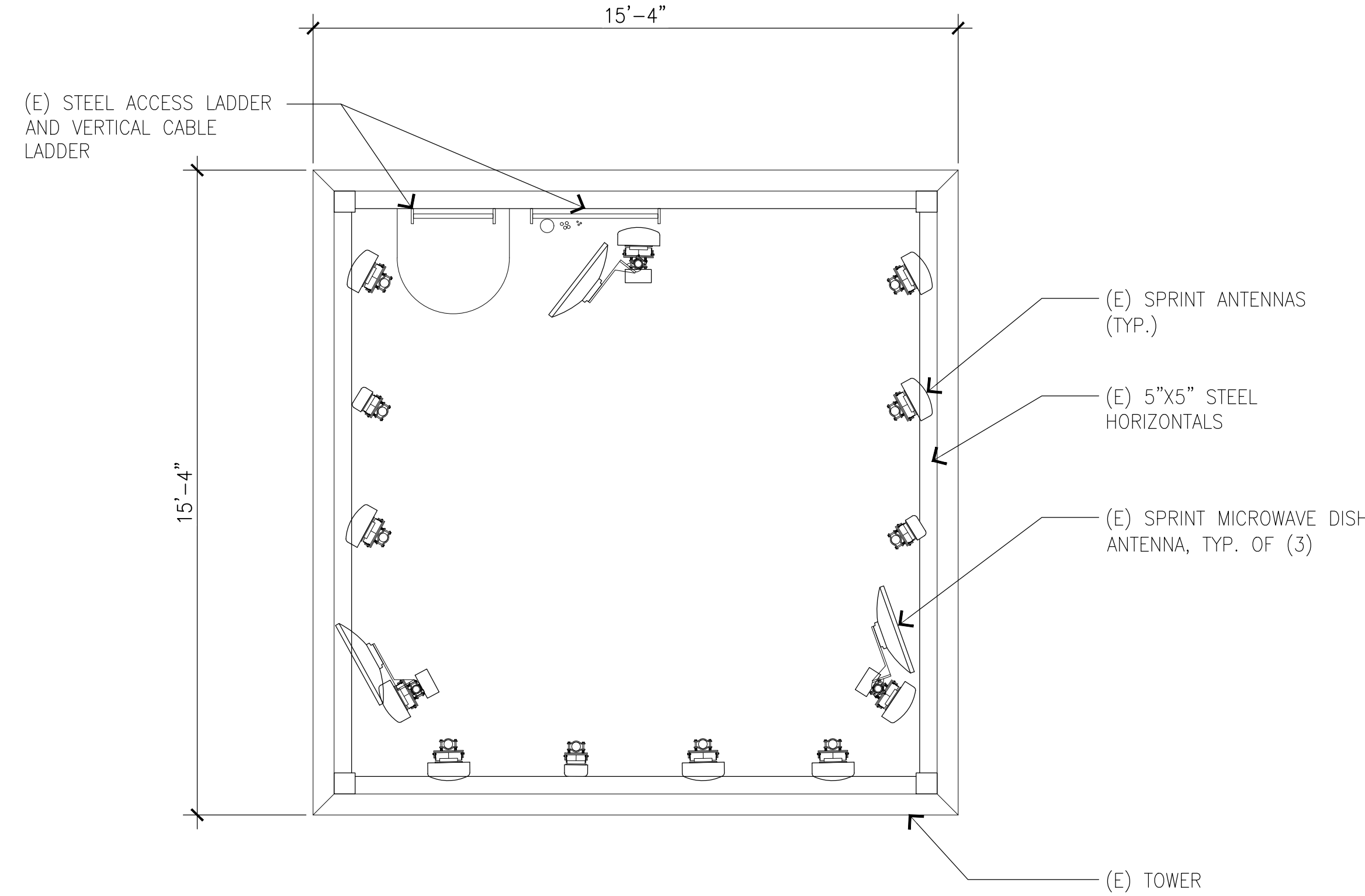
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ANTENNA LAYOUT PLANS

SHEET NUMBER:REVISION:

A-2.13

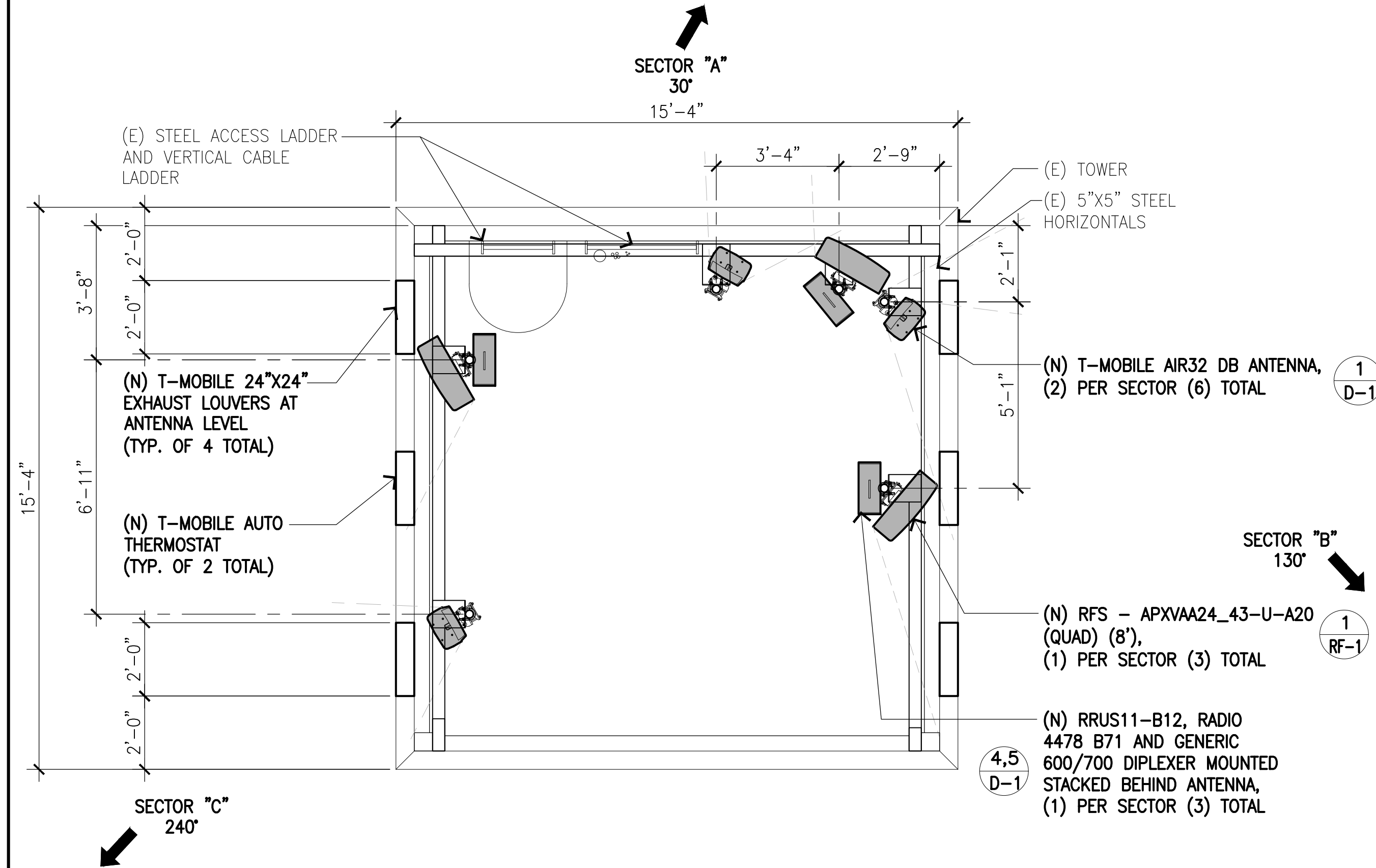
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3 (E) ANTENNA LAYOUT PLAN

SCALE: 3/8"=1'-0" 0 1' 2' 5'

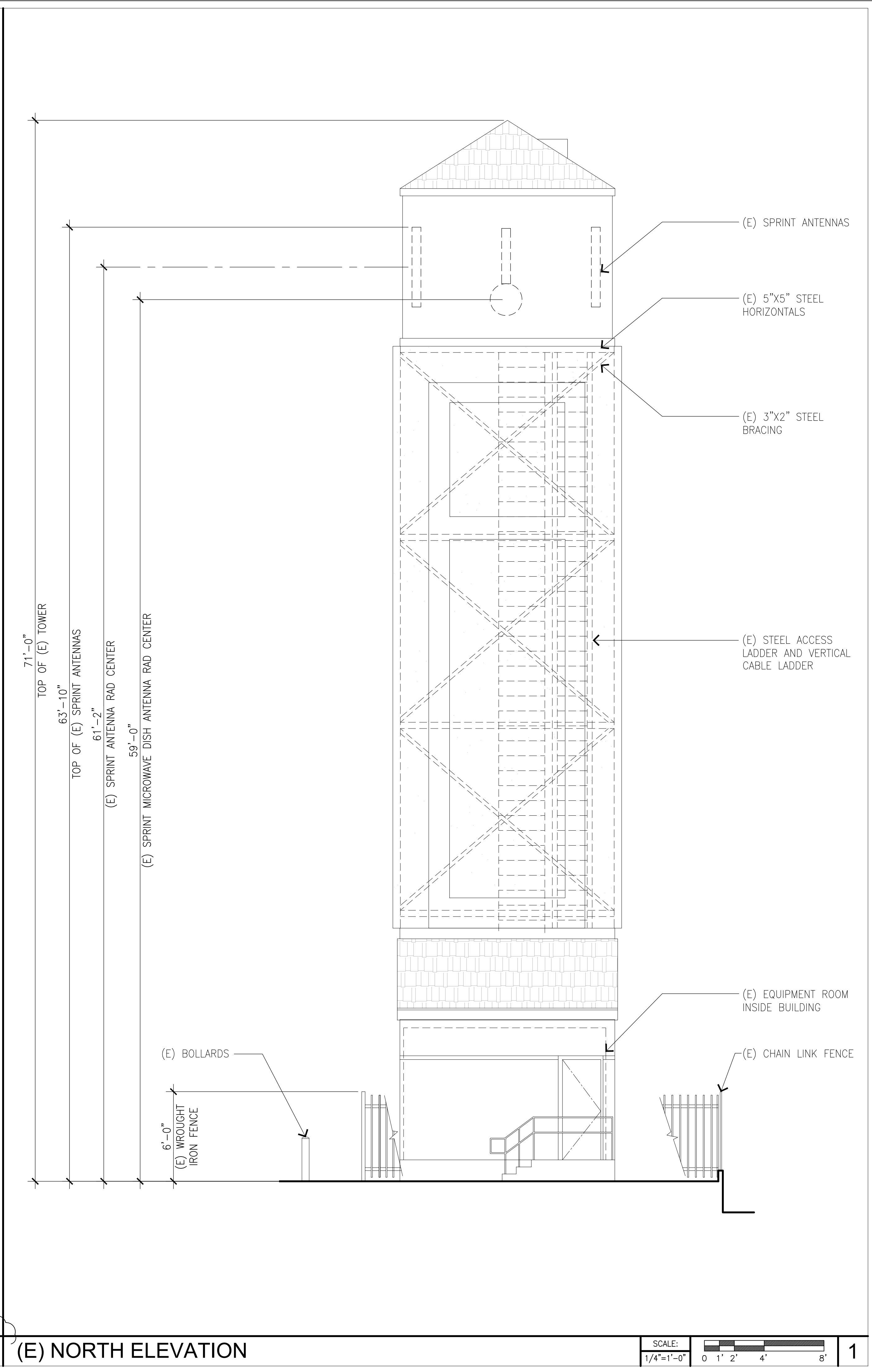
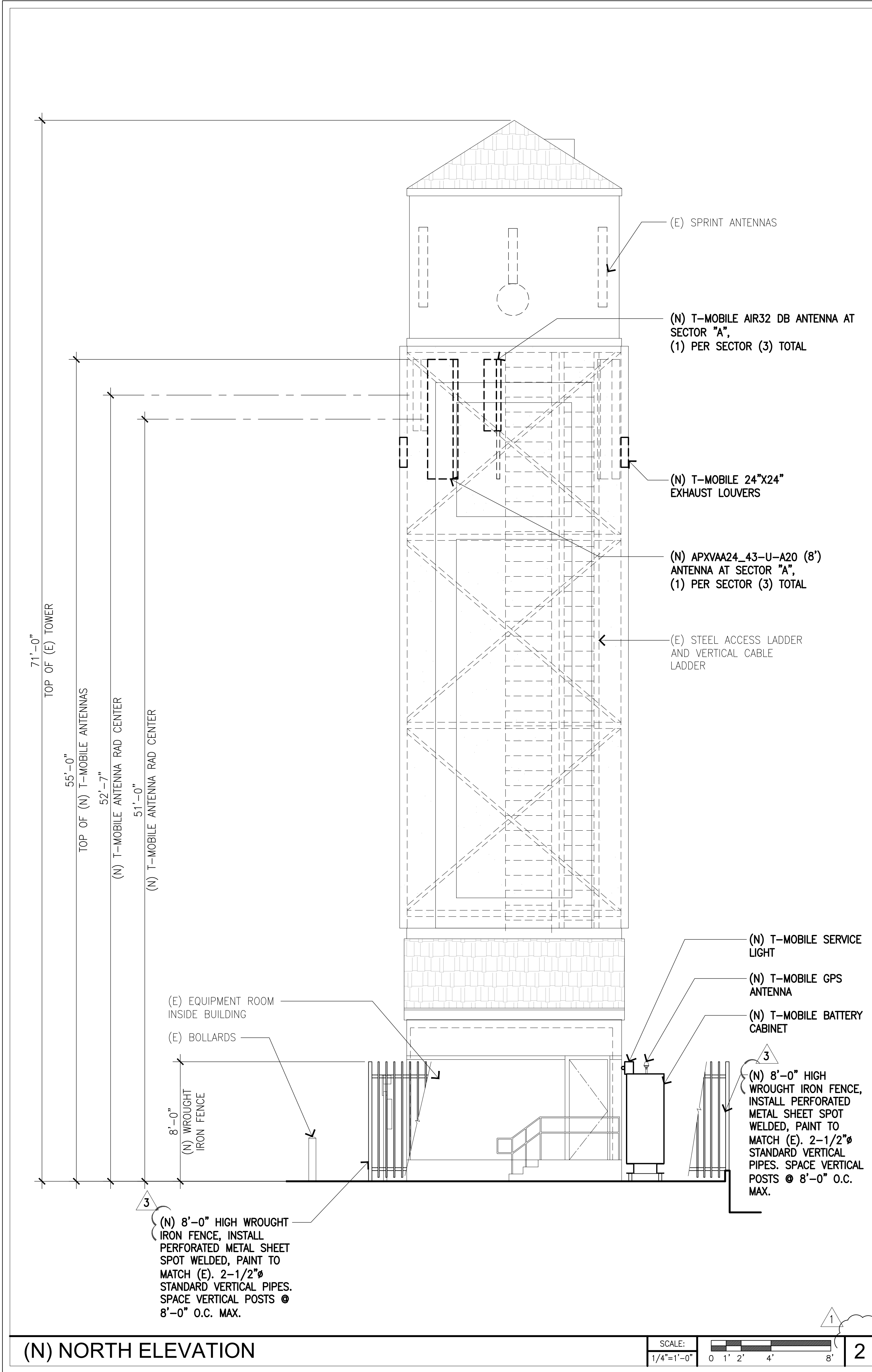
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4 (N) ANTENNA LAYOUT PLAN

SCALE: 3/8"=1'-0" 0 1' 2' 5'

2



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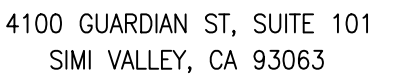
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LICENSURE:

SHEET TITLE:
ELEVATIONS

SHEET NUMBER: **A-3** REVISION: **3**
LA74741C



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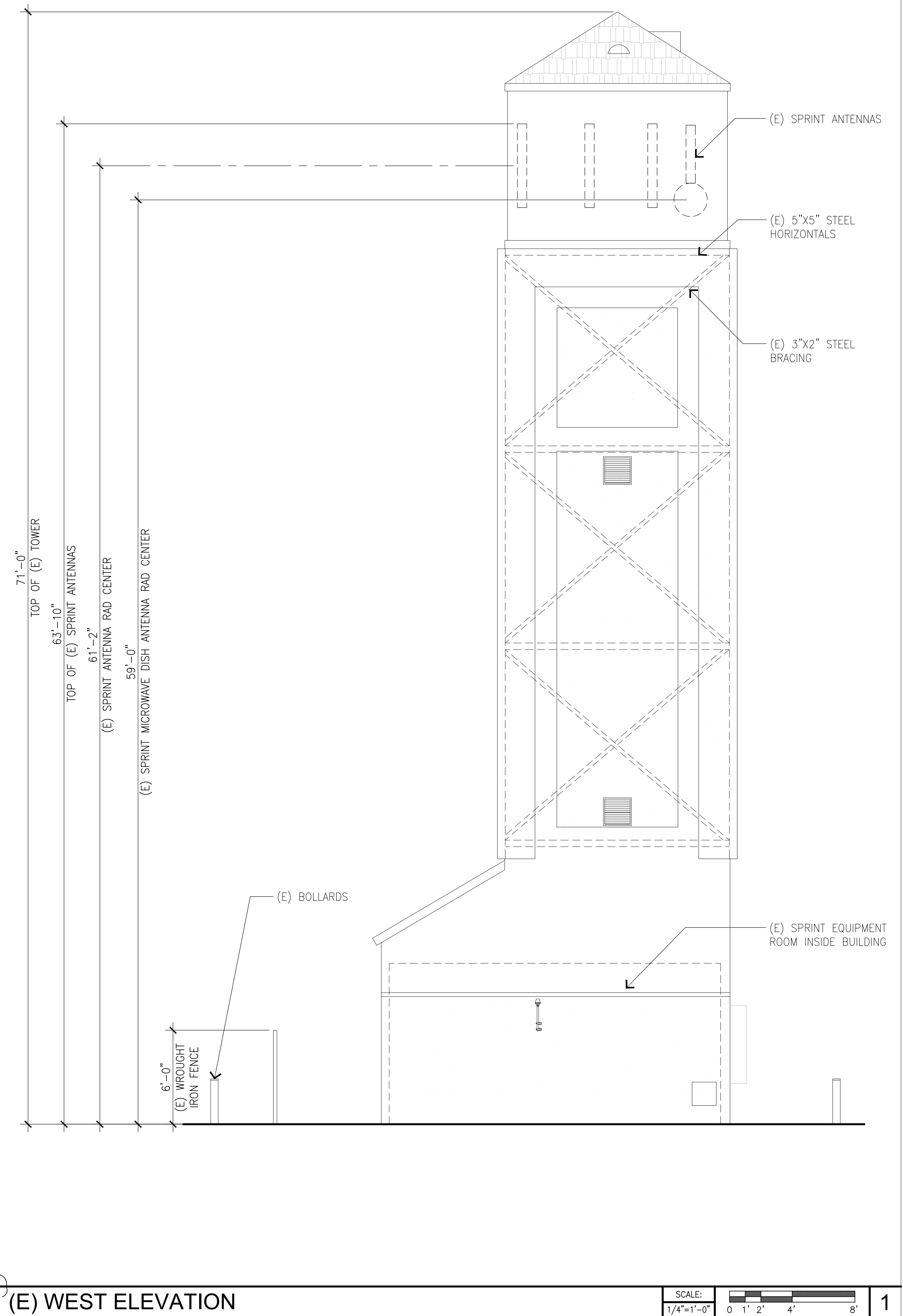
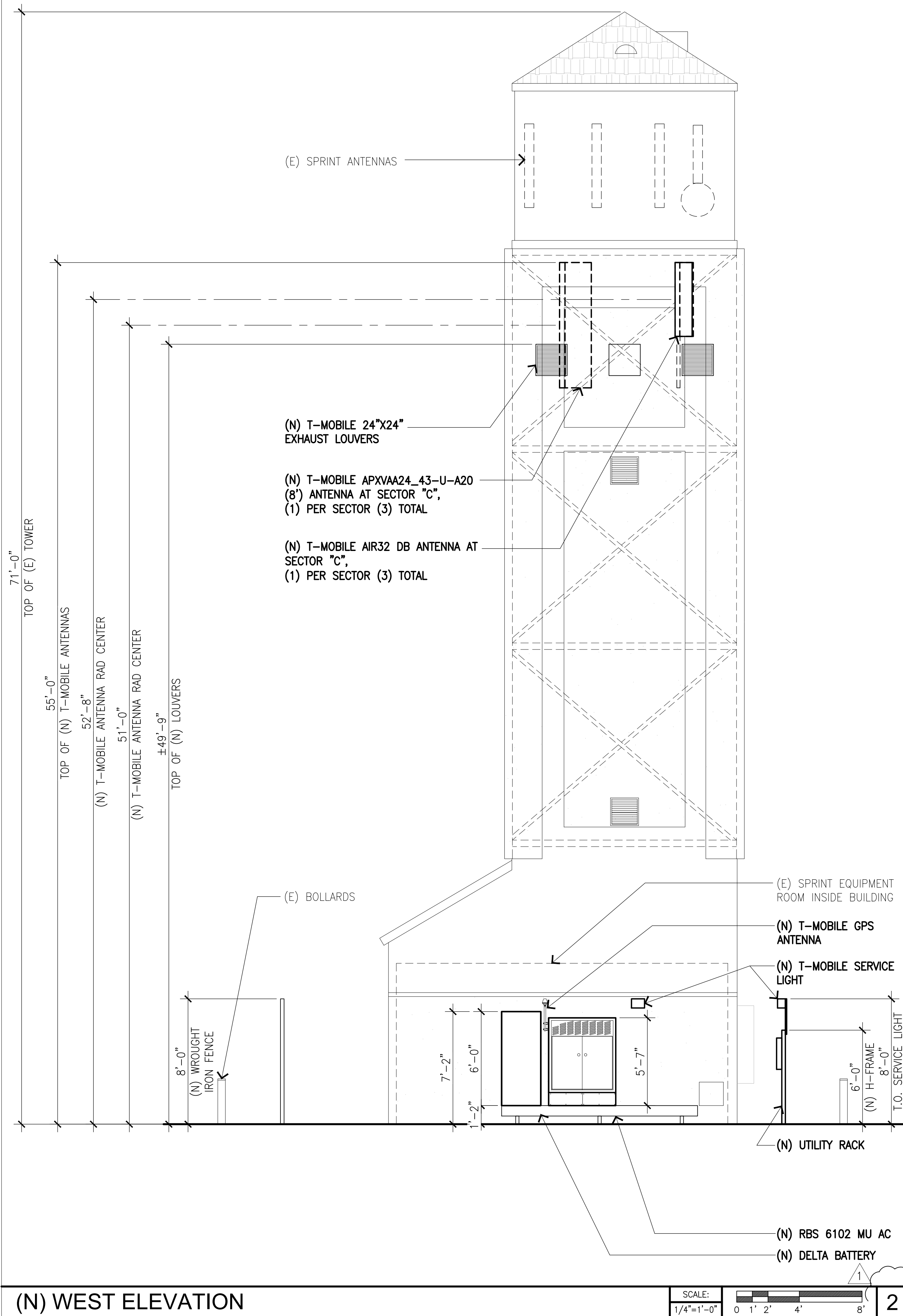
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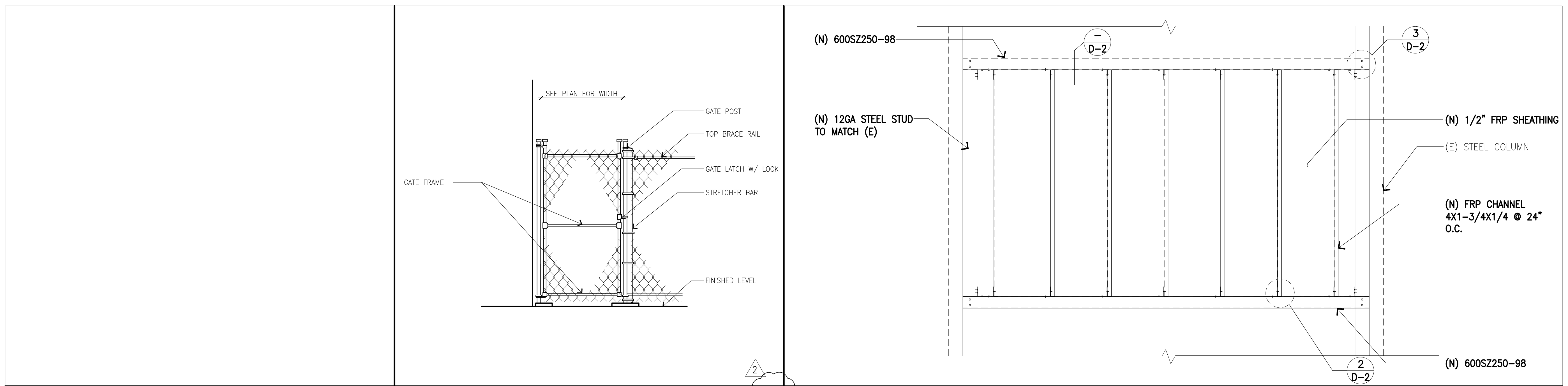
ELEVATIONS

A-4

3

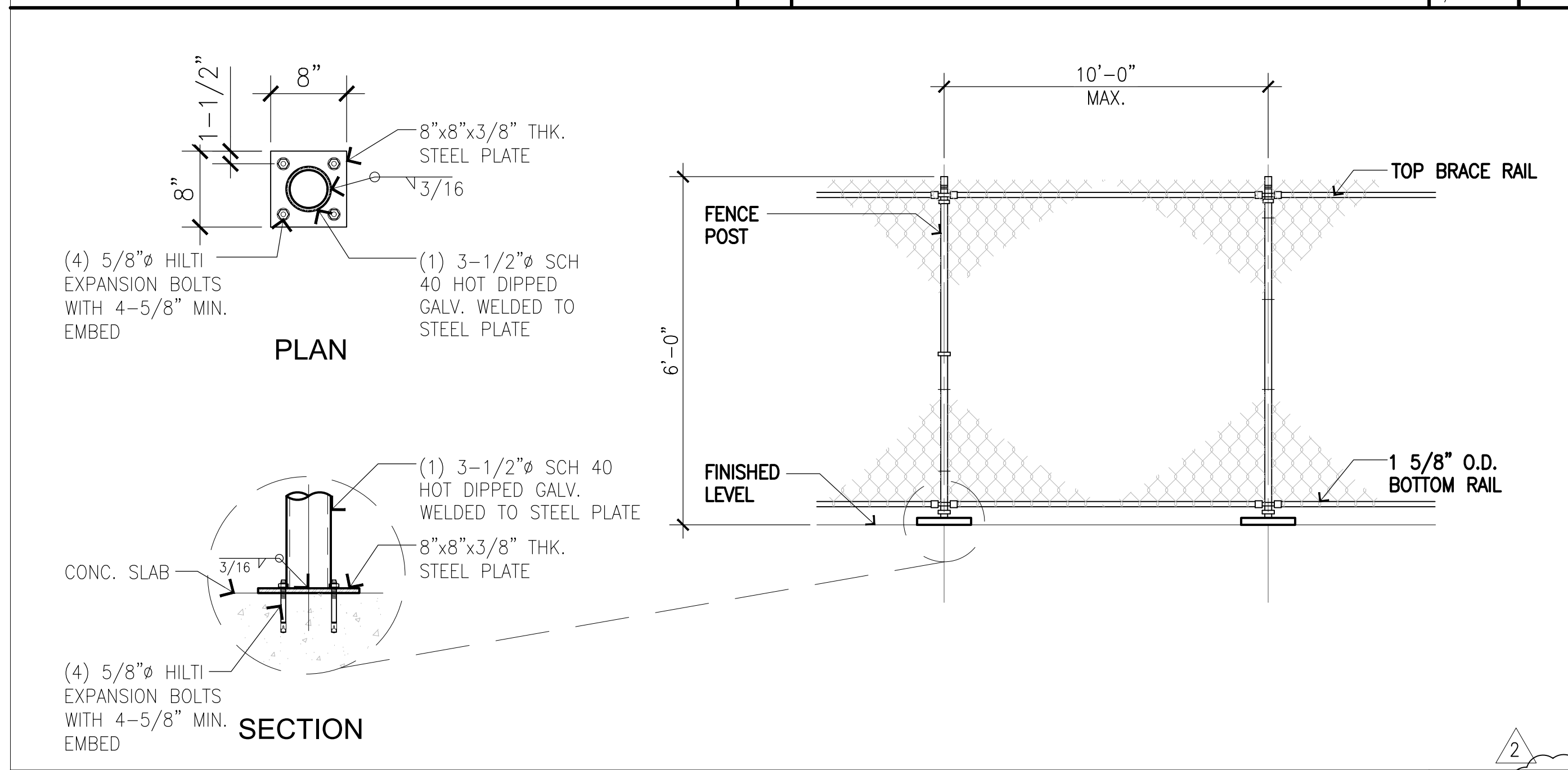
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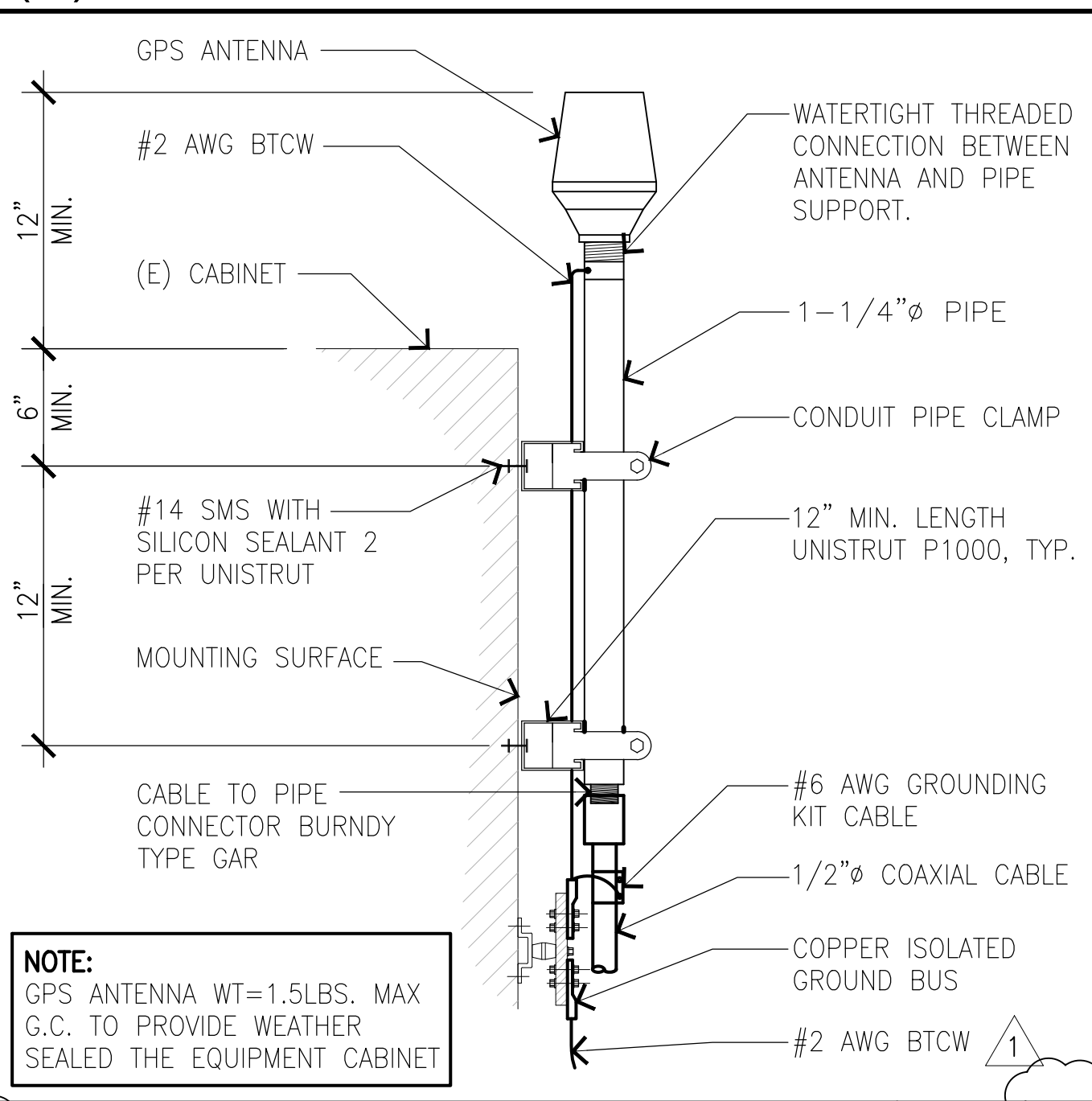


9 SINGLE SWING GATE DETAIL

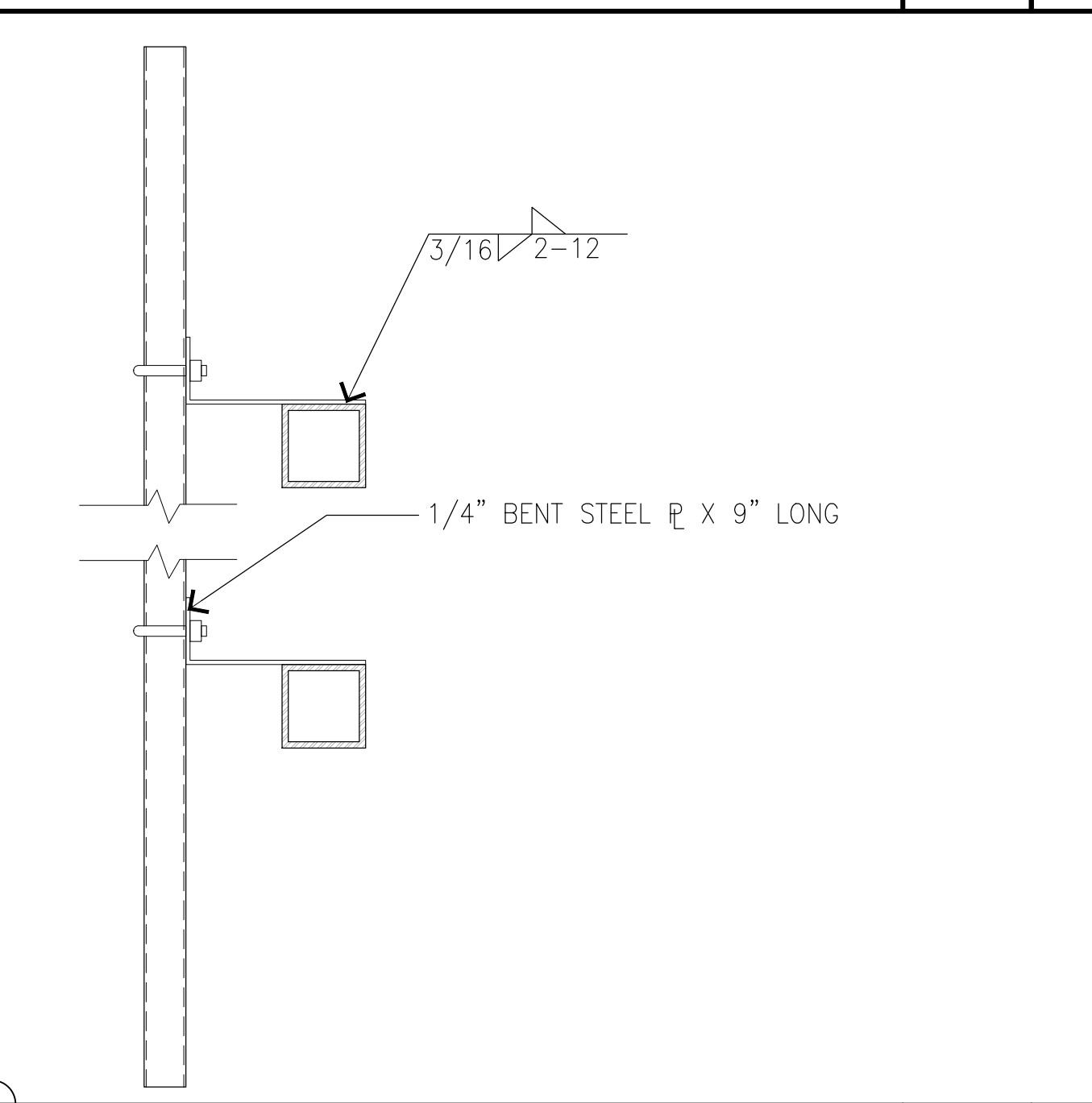
6 (N) FRP WALL



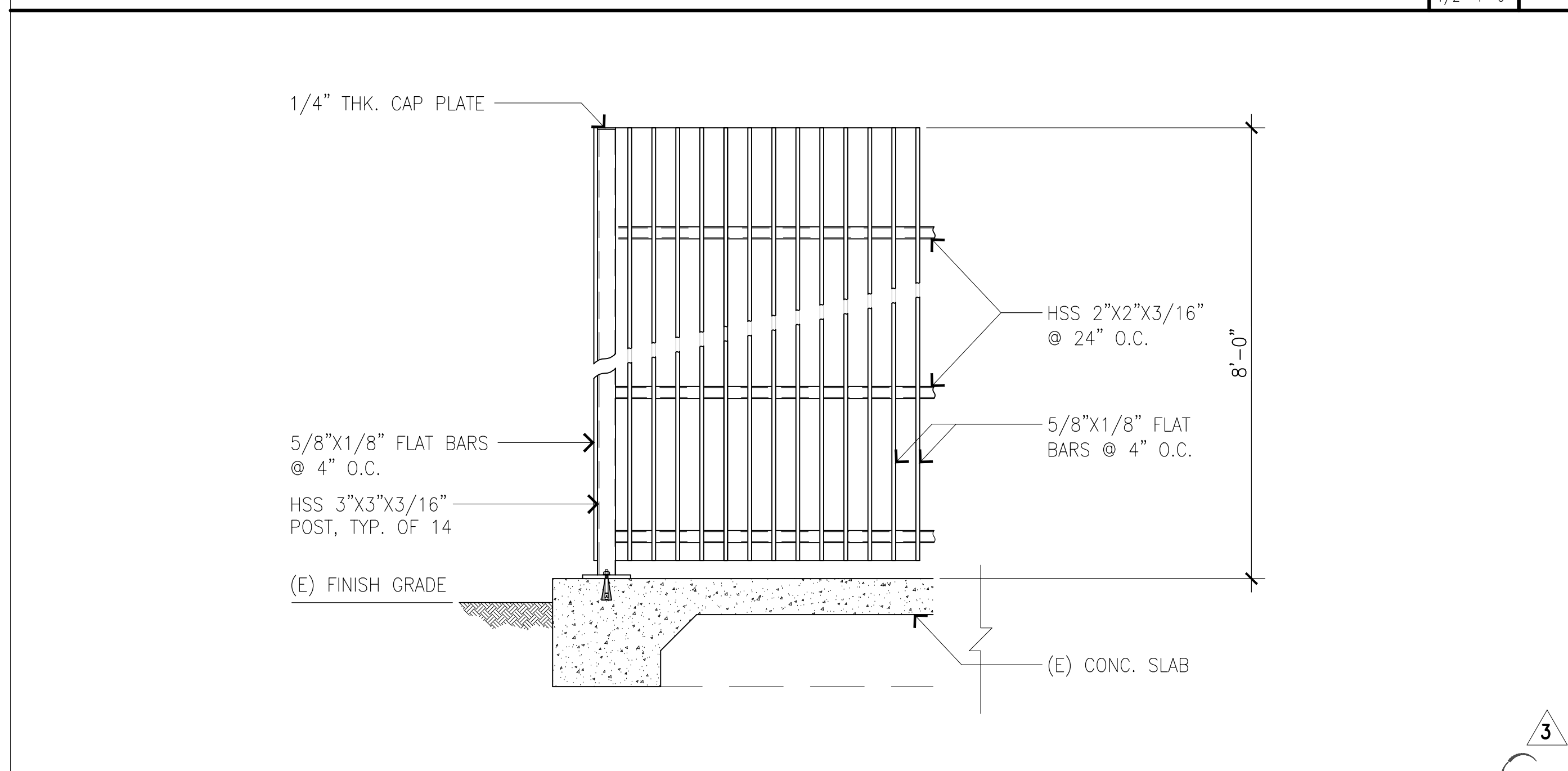
CHAIN LINK FENCE DETAIL



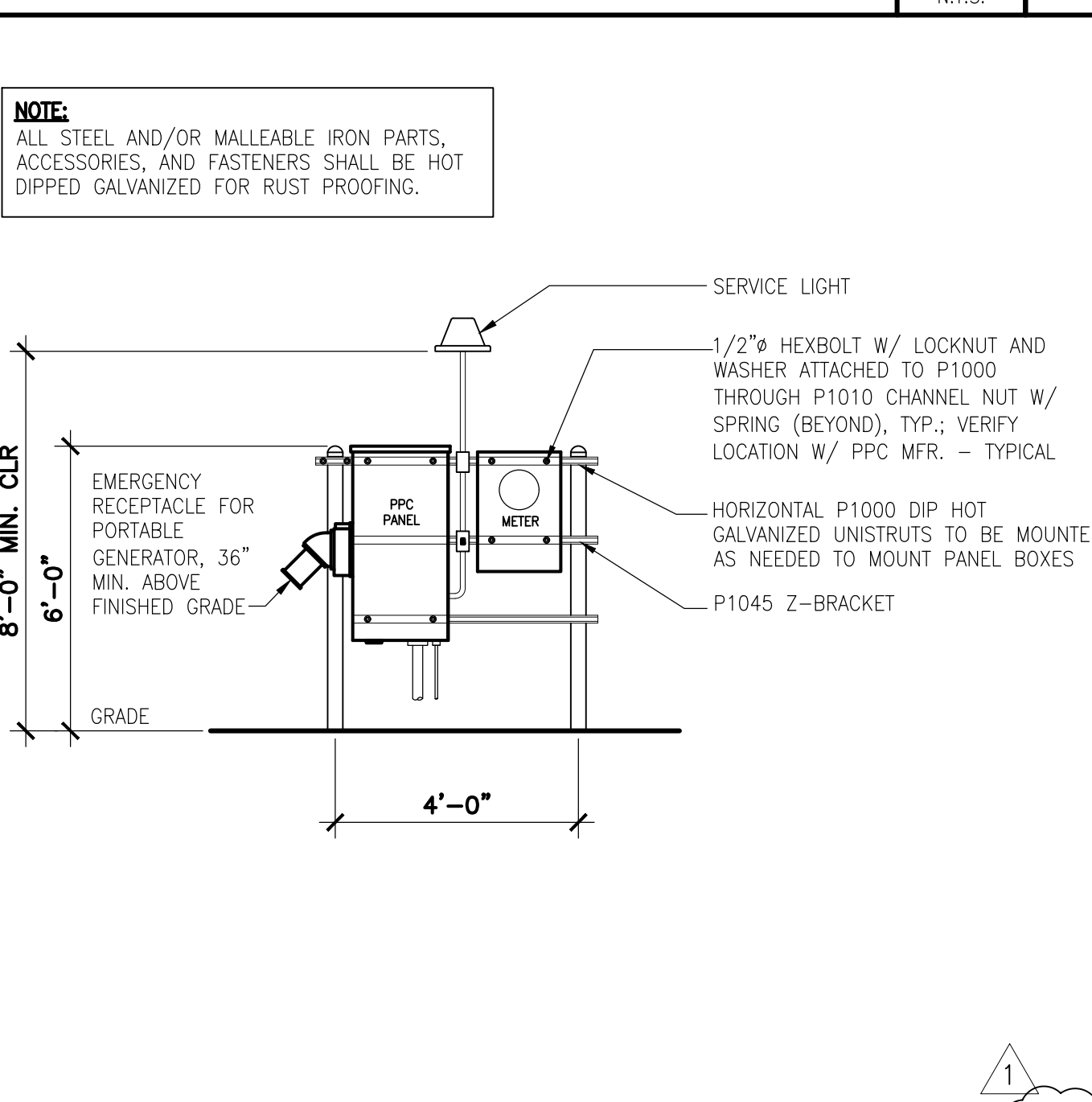
GPS ANTENNA MOUNTING



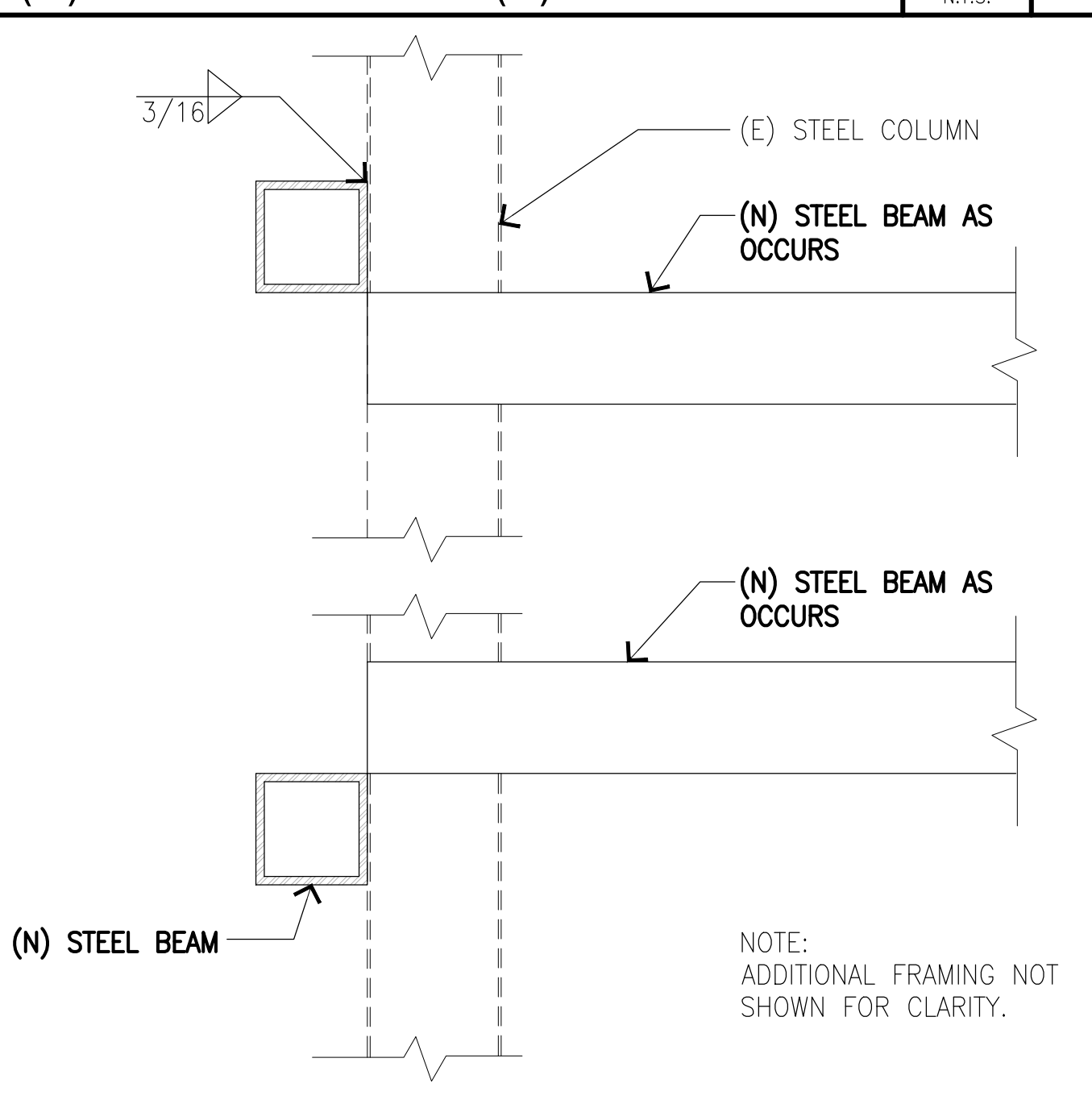
(N) STEEL ANGLE AT (E) STEEL BEAM



WROUGHT IRON FENCE ELEVATION



PPC PANEL, METER AND LIGHT MOUNTING



(N) STEEL BEAM AT (E) STEEL COLUMN

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CONSULTANT:

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LICENSURE:

REGISTERED PROFESSIONAL ENGINEER
ADAM BRONKHORST
C74190
EXP. 6/30/19
CIVIL
STATE OF CALIFORNIA

SHEET TITLE:

DETAILS

SHEET NUMBER: REVISION:

D-2 3

LA74741C



Dual Slant Polarized Dual Band (4 Port) Antenna, 617-746MHz, 65 deg, 15.4dBi, 2.4m(8ft), VET, RET, 0-10° Tilt Range

FEATURES / BENEFITS

This antenna provides a four port platform for advanced use in 600MHz and 700MHz deployment scenarios in a high quality package design built to withstand harsh environments.

- Field Replaceable (Integrated) AISG RET platform for reduced environmental exposure and long lasting quality.
- Supreme elevation performance across the entire electrical down tilt range.
- High Gain performance for optimum site coverage, reduced power and signal integrity.
- Excellent Front-to-Back Ratio for less interference from neighboring cells.
- Manual Override feature for electrical downtilt adjustment.

Preliminary

Technical Features

ANTENNA PERFORMANCE - LEFT R1

Frequency Range	MHz	617-698MHz	698-746MHz
Gain	dBi	15.0	15.4
Horizontal Beamwidth	deg	67	63
Vertical Beamwidth	deg	10.7	9.7
Electrical Downtilt Range	deg	0-10	0-10
Upper Side Lobe Suppression Peak to +20	dB	22	26
Upper Side Lobe Suppression 0 to +20	dB	21	21
Front to Back Ratio +/-30 Copolar	dB	27	28
Cross Polar Isolation Between Ports	dB	28	28
Cross Polarization (XPD) @ Boresight	dB	24	23
Cross Polarization (XPD) @ +/-60	dB	7	4
VSWR		1.5:1	1.5:1
3rd Order IMP 2 x 43dBm	dBc		153
Maximum Power Input	Watts	300W	300W

APXVAA24_43-U-A20

REV: Preliminary

REV DATE: Jul 10, 2017

www.rfsworld.com

All information contained in the present datasheet is subject to confirmation at time of ordering

Page 1 of 2



Dual Slant Polarized Dual Band (4 Port) Antenna, 617-746MHz, 65 deg, 15.4dBi, 2.4m(8ft), VET, RET, 0-10° Tilt Range

ANTENNA PERFORMANCE - RIGHT R2

Frequency Range	MHz	617-698	698-746
Gain	dBi	14.8	15.1
Horizontal Beamwidth	deg	67	63
Vertical Beamwidth	deg	10.7	9.7
Electrical Downtilt Range	deg	0-10	0-10
Upper Side Lobe Suppression Peak to +20	dB	22	26
Upper Side Lobe Suppression 0 to +20	dB	20	20
Front to Back Ratio +/-30 Copolar	dB	27	28
Cross Polar Isolation Between Ports	dB	28	28
Cross Polar Discrimination (XPD) @ Boresight	dB	23	21
Cross Polar Discrimination (XPD) @ +/-60	dB	7	3
VSWR		1.5:1	1.5:1
3rd Order IMP 2 x 43dBm	dBc		153
Maximum Power Input	Watts	300	300

ELECTRICAL SPECIFICATIONS

Impedance	Ohm	50.0
Polarization	Deg	±45°

MECHANICAL SPECIFICATIONS

Dimensions - H x W x D	mm (in)	2438 x 610 x 215 (96 x 24 x 8.5)
Weight (Antenna Only)	kg (lb)	46 (101.4)
Weight (Mounting Hardware only)	kg (lb)	10.5 (23)
Shipping Weight	kg (lb)	68 (149.9)
Connector type		4 x 4.3-10 Long Neck Female/Bottom + 2 AISG connectors (1 male, 1 female)
Adjustment mechanism		Integrated RET solution AISG compliant (Field Replaceable) + Manual Override + External Tilt Indicator
Mounting Hardware		Diecast Aluminium and Galvanized steel
Material		
Radome Material / Color		Fiberglass / Light Grey RAL7035

TESTING AND ENVIRONMENTAL

Temperature Range	°C (°F)	-40 to 60 (-40 to 140)
Lightning protection		Direct Ground
Survival/Rated Wind Velocity	km/h	241 (150)

ORDERING INFORMATION

Model Number	Configuration	Mounting Hardware	Mounting pipe Diameter	Antenna Weight
APXVAA24_43-C-A20	Field Replaceable RET Included (1)	APM40-SE Beam tilt kit	60-120mm	46.0kg (101.4lbs)

External Document Links

Installation_Instructions_APM40-SE

External Link Reference

APXVAA24_43-U-A20

REV: Preliminary

REV DATE: Jul 10, 2017

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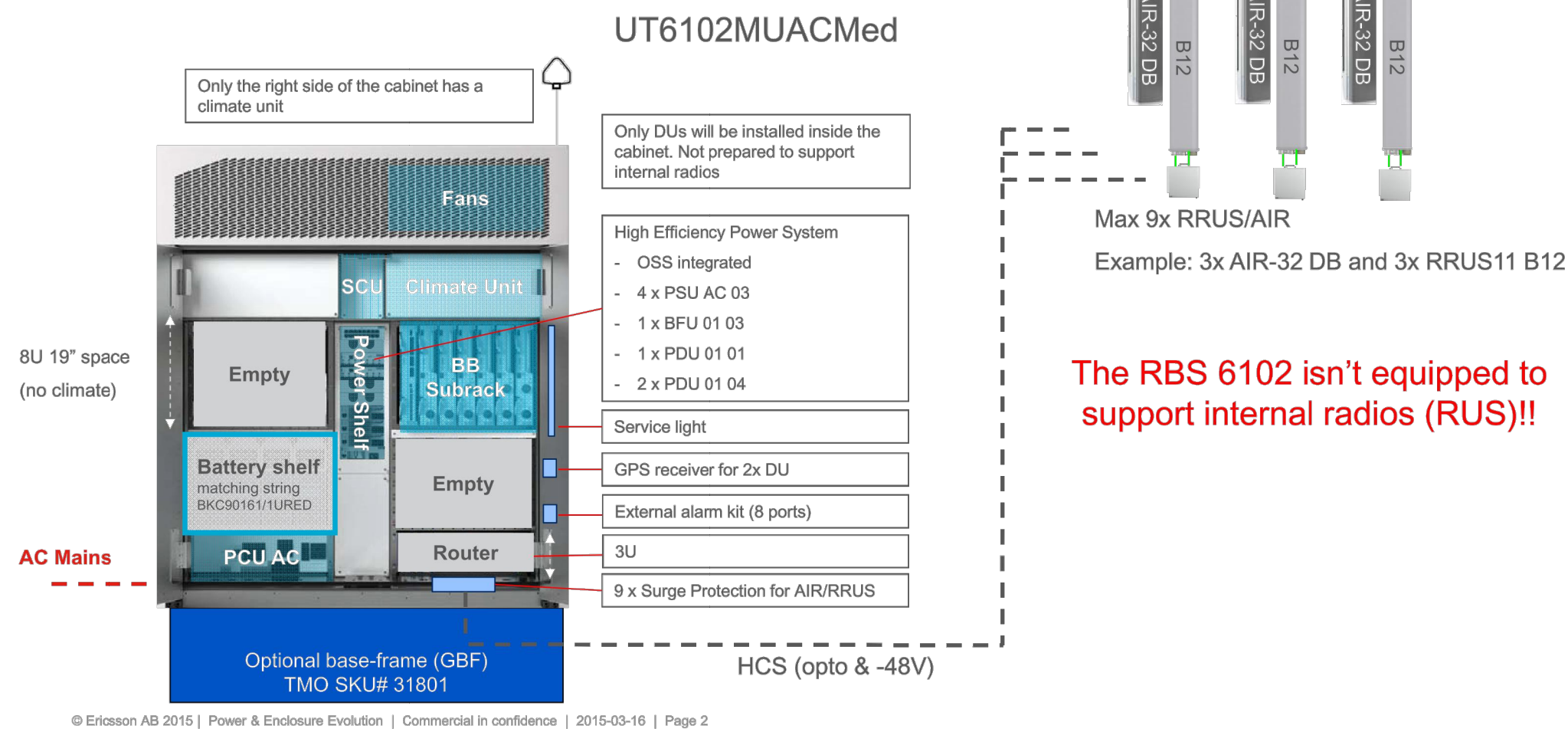
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Page 2 of 2

(N) RFS - APXVAA24_43-U-A20 ANTENNA SPECIFICATIONS

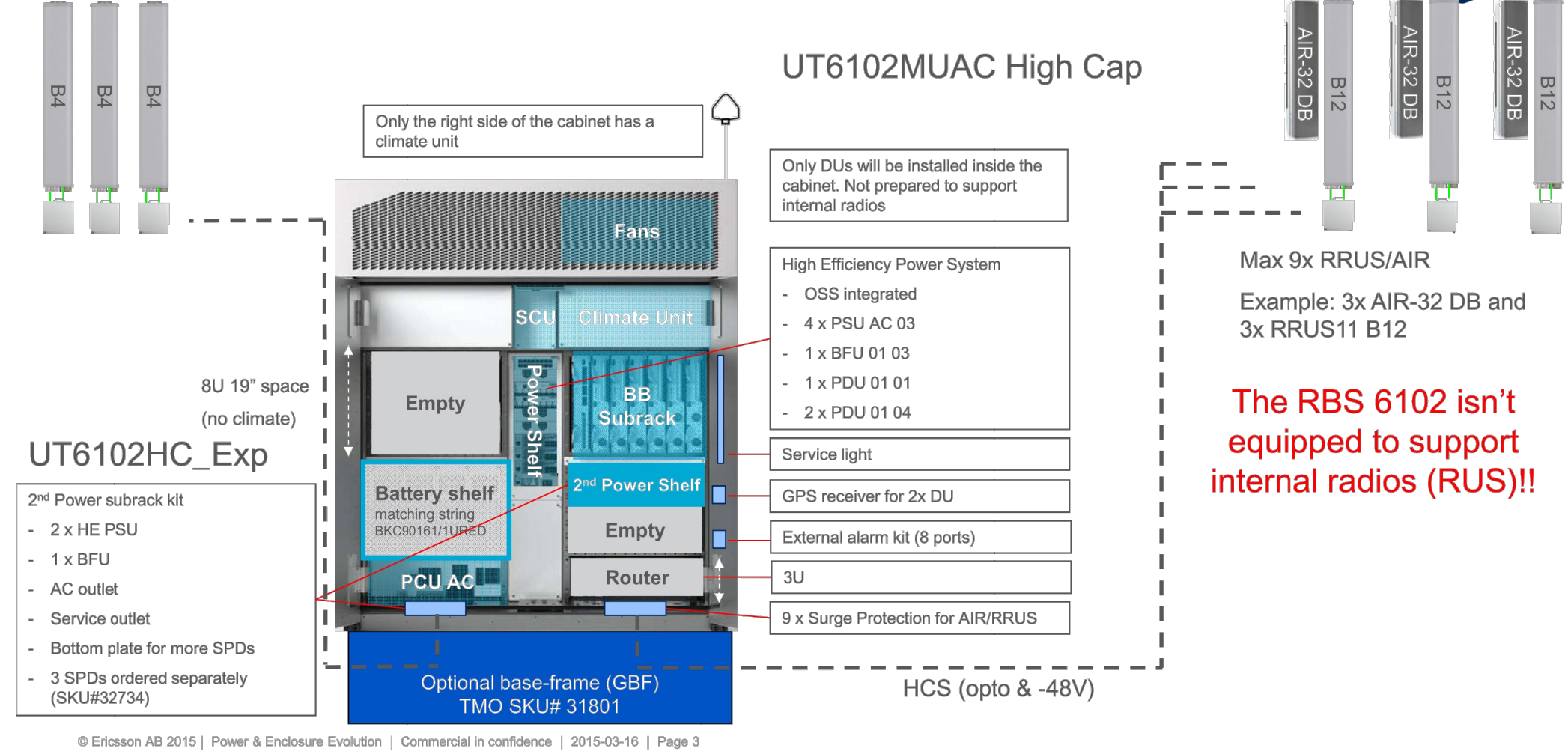
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RBS 6102 MUAC MEDIUM



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RBS 6102 MUAC HIGH CAP



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SHEET TITLE:

SPECIFICATIONS

SHEET NUMBER: REVISION:

RF-1

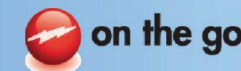
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LA74741C

2

(N) RBS 6102 MU AC SPECIFICATIONS

RBA72 Dual Busbar Battery Cabinet



How To Order		
Description	Alcatel-Lucent Part #	CommScope Part #
RBA72 with dual busbar and air conditioner with heating element	1AD082300001	760111880
RBA72 with dual busbar and air conditioner without heating element	1AD082310001	760111898
Kit, Connection, RBA72 to Modcell	409120169	760111872
Kit, -48V busbar, field-add retrofit	Not Available	760122226
Kit, RBA72, Zone 4 seismic	Not Available	760136929

Battery Voltage Configurations

- RBA72 Battery Cabinet with 6 strings @ 24 VDC, 1080 total Ah, and 2 strings @ -48 VDC, total 360 Ah
- RBA72 Battery Cabinet with 8 strings @ 24 VDC, 1440 total Ah, and 1 string @ -48 VDC, total 180 Ah



Feature	Description
Dimensions:	H 72" x D 39" x W 30"
Weight:	500 lbs
Cooling Technology:	8,000 BTU air conditioner
Heater:	1,000 W, if applicable
Batteries:	Multiple vendors, max size D 22" x W 4.86" x H 12.6", (4) batteries per shelf, sized for 170/190 Ah types (NorthStar NSR170FT, Deka Unigy 1 12AVR170ET)
Alarms:	Door intrusion, blown fuse, air conditioner high temperature

Additional Features

- 1000 amp fuse cabinet
- Battery cabling busbar all shelves
- 3-point latching mechanism for door
- Removable kick plate for easy install
- Pad lockable latch
- (2) Lockable rear access panels
- Fully insulated cabinet
- Air conditioner junction box
- Dual busbars for +24 VDC and -48 VDC system
- Capable of backing up of LTE (-48 VDC) and CDMA (+24 VDC)
- GR-487 Zone 4 compliant with kit 760136929

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11015 BLOOMFIELD AVE
SANTA FE SPRINGS, CA 90670
LOS ANGELES COUNTY

CURRENT ISSUE DATE:

04/30/18

ISSUED FOR:

CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

A	10/02/17	90% CD, ISSUED FOR REVIEW	RB
1	11/20/17	REVISED PER B&S PLAN CHECK COMMENTS	RB
2	12/20/17	REVISED PER LANDLORD COMMENTS	RB
3	04/27/18	REVISED PER PLAN CHECK COMMENTS	JTA/RB

PLANS PREPARED BY:

Synergy
a division of **advantage engineers**

7543 Woodley Ave., #201, Van Nuys, CA 91406
Office: (818) 840-0808 Fax: (818) 840-0708

CONSULTANT:

Synergy
a division of **advantage engineers**

7543 Woodley Ave., #201, Van Nuys, CA 91406
Office: (818) 840-0808 Fax: (818) 840-0708

DRAWN BY: CHK.: APV.:

RB

AB

AB

LICENSURE:



SHEET TITLE:

SPECIFICATIONS

SHEET NUMBER: REVISION:

RF-2

3

LA74741C



City of Santa Fe Springs

Planning Commission Meeting

January 13, 2020

PUBLIC HEARING

Categorically Exempt - CEQA Guidelines Section 15361(b)(3) – General Rule

Conditional Use Permit (CUP) Case No. 795

Zone Variance (ZV) Case No. 82

Zone Variance (ZV) Case No. 84-87

Development Agreement (DA) No. 01-2020

CUP Case No. 795: A request to allow the construction and operation of a new 50-foot tall V-shaped digital billboard with 14' x 48' display areas on the subject property, within the M-2 FOZ (Heavy Manufacturing – Freeway Overlay Zone) zone; and.

ZV Case No. 82: A request to allow the subject digital billboard to project over the roof of a building, contrary to Section 155.384 (E)(1) of the City's Zoning Ordinance; and

ZV Case No. 84: A request to allow the subject digital billboard to be located less than 25' from the front property line, contrary to Section 155.384 (H)(6) of the City's Zoning Ordinance; and

ZV Case No. 85: A request to allow the subject digital billboard to be located less than 25' from the side property line, contrary to Section 155.384 (H)(6) of the City's Zoning Ordinance; and

ZV Case No. 86: A request to allow the subject digital billboard to be located less than 25' from the adjacent building, contrary to Section 155.384 (H)(6) of the City's Zoning Ordinance; and

ZV Case No. 87: A request to allow the removal of an existing on-site tree, contrary to Section 155.384 (I)(3) of the City's Zoning Ordinance, in order to locate the subject digital billboard as currently prohibited.

DA No. 01-2020: A Development Agreement by and between the City of Santa Fe Springs and Becker Boards which would set forth the rules and regulations under which the proposed billboard would be allowed.

Applicant/Subject Property: Becker Boards/13539 Freeway Drive (APN: 8069-016-006)

RECOMMENDATION

- Continue Conditional Use Permit Case No. 795, Zone Variance Case No. 82, Zone Variance Case Nos. 84-87, and Development Agreement No. 01-2020 to the Planning Commission meeting of February 12, 2020.

Property owners within 500 feet of the subject property were notified via mail that the requested entitlement was going before the Planning Commission for consideration. Since neighbors received notification, it is recommended that if any members of the public attend the meeting and wish to comment, the Planning Commission should receive public comments, and then take action to continue the project to the next meeting date on February 12, 2020. The continuance comes at the request of the applicant due to a scheduling conflict. Furthermore, the additional timing will provide the applicant with an opportunity to thoroughly review the staff report and resolution.



Wayne M. Morrell
Director of Planning

Attachment:

1. Email from Applicant

ATTACHMENT 1:
Email from Applicant requesting continuance

Teresa Cavallo

From: Wayne M. Morrell
Sent: Thursday, January 09, 2020 11:46 AM
To: Teresa Cavallo
Subject: FW: 13539 Freeway Dr.

Wayne M. Morrell | Director of Planning City of Santa Fe Springs | Planning Department
11710 Telegraph Road | Santa Fe Springs, CA 90670
(562) 868-0511, Ext 7362 | (562) 868-7112 Fax waynemorrell@santafesprings.org | www.santafesprings.org

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-----Original Message-----

From: Danielle Hayman [mailto:dhayman@beckerboards.com]
Sent: Thursday, January 9, 2020 9:55 AM
To: Cuong H. Nguyen <CuongNguyen@santafesprings.org>
Cc: Jorge H. Rodriguez <jhrconsultinggroup@gmail.com>; Joseph White <jwhite@beckerboards.com>; Wayne M. Morrell <WayneMorrell@santafesprings.org>; tzinn@tbplanning.com; blodgett.marc@gmail.com; Richard Adams <rla@jones-mayer.com>; Jacob Zonn <JZonn@beckerboards.com>
Subject: Re: 13539 Freeway Dr.

Good morning Cuong,

Thank you for your email. Unfortunately we have a scheduling conflict and are requesting a date of continuance at this time. Additionally, my team and I need adequate time to thoroughly review the material you sent and would appreciate if you would not distribute these. We need the time to review these prior to any public view. Please confirm you will not distribute this.

I appreciate your time.

Thank you,

Danielle Hayman
818-943-0080

> On Jan 8, 2020, at 5:42 PM, Cuong H. Nguyen <CuongNguyen@santafesprings.org> wrote:
>
>



PUBLIC HEARING

Categorically Exempt - CEQA Guidelines Section 15301, Class 1, and Section 15303, Class 3

Amendment of Development Plan Approval (DPA) Case No. 847

Modification Permit (MOD) Case No. 1316

Modification Permit (MOD) Case No. 1320

ADPA Case No. 847: A request for approval to modify the existing development plan to allow the construction of a new solar carport, garage, and canopy on the subject property; and

MOD Case No. 1316: A request for approval to allow the proposed canopy support to encroach 8' into the required front yard setback along Pike Street; and

MOD Case No. 1320: A request for approval to replace a portion of the required landscape strip with grasscrete along Pike Street for two additional parking stalls.

The subject property is located at 9427 Norwalk Boulevard (APN: 8002-015-015), within the M-2, Heavy Manufacturing, Zone.

(Hani Abi Naked on behalf of True Design Cabinet Manufacturing)

RECOMMENDATIONS:

- Open the Public Hearing and receive any comments from the public regarding Amendment of Development Plan Approval Case No. 847, Modification Permit Case No. 1316, and Modification Permit Case No. 1320, and thereafter, close the Public Hearing; and
- Find and determine that the proposed project will not be detrimental to persons or properties in the surrounding area or to the City in general, and will be in conformance with the overall purpose and objective of the Zoning Ordinance and consistent with the goals, policies and program of the City's General Plan; and
- Find that the applicant's DPA request meets the criteria set forth in §155.739 of the City's Zoning Ordinance, for the granting of a Development Plan Approval; and
- Find that the applicant's MOD requests meet the criteria set forth in §155.695 and §155.696 of the Zoning Ordinance, for the granting of a Modification Permit; and
- Find and determine that pursuant to Section 15301, Class 1 (Existing Facilities), and Section 15303, Class 3 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA), the project is Categorically Exempt; and

RECOMMENDATIONS (CONT.):

- Approve Amendment of Development Plan Approval Case No. 847, Modification Permit Case No. 1316 and Modification Permit Case No. 1320, subject to the conditions of approval as contained within Resolution No. 151-2020; and
- Adopt Resolution No. 151-2020, which incorporates the Planning Commission's findings and actions regarding this matter.

GENERAL INFORMATION

- A. Applicant: Hani Abi Naked
9427 Norwalk Boulevard
Santa Fe Springs, CA 90670
- B. Property Owner: HDRR, LLC
9427 Norwalk Boulevard
Santa Fe Springs, CA 90670
- C. Location of Proposal: 9427 Norwalk Boulevard
Santa Fe Springs, CA 90670
- D. Existing Zone: M-2 (Heavy Manufacturing)
- E. General Plan: Industrial
- F. CEQA Status: Categorically Exempt (Class 1 and 3)
- G. Hearing Date: January 13, 2020
- H. Staff Contact: Vince Velasco, Planning Consultant
vincevelasco@santafesprings.org

LOCATION / BACKGROUND

The subject property is an irregular shaped corner lot, approximately 32,234 sq. ft. (0.74 acres) and is located at 9427 Norwalk Boulevard, in the M-2 (Heavy Manufacturing) Zone. True Design Cabinet Manufacturing currently owns and occupies the property. The existing business specializes in the manufacturing of closets and cabinets. They also provide interior design work for various businesses such as hotels, banks, and offices.

In May 2008, the Planning Commission approved Development Plan Approval (DPA) Case No. 847 to allow the construction of a 6,563 sq. ft. addition, a new

façade treatment, and landscaping improvements for an existing warehouse building. At the same meeting, the Commission also approved Modification Permit (MOD) Case No. 1206 to allow for a reduction of required on-site parking related to the aforementioned improvements.

PROJECT DESCRIPTION

The proposed project requires approval of the following entitlement:

Amendment of Development Plan Approval (DPA 847) – A request for approval to modify the existing development plan to allow the construction of a new solar carport, garage, and canopy on the subject property located at 9427 Norwalk Boulevard (APN: 8002-015-015), within the M-2, Heavy Manufacturing, Zone; and

Modification Permit (MOD 1316) - A request for approval to allow the proposed canopy support to encroach 8' into the required front yard setback along Pike Street; and

Modification Permit (MOD 1320) - A request for approval to replace a portion of the required landscape strip with grasscrete along Pike Street for two additional parking stalls.

AMENDMENT OF CONDITIONAL USE PERMIT (ACUP 847)

True Design Cabinet Manufacturing is proposing to construct a new solar carport, garage, and canopy adjacent to the existing building. As proposed, the new carport will cover 20 of the 22 (91%) parking stalls provided. Enclosed within the carport structure will be a new garage for three (3) standard size vehicles. The garage will be used primarily by the business owners and has been conditioned to prohibit the use of said garage as storage. Adjacent to the proposed carport will be a canopy structure to provide shelter from the elements when deliveries are made. Collectively, the carport, garage, and canopy will be architecturally integrated into the existing development and create an aesthetically pleasing design.

Parking:

The original DPA approval obtained in May 2008 identified that the subject property would require a total of 33 parking stalls; however, MOD 1206 allowed a total of 22 parking stalls to be provided. As a result, the deficiency was 11 parking stalls or 33% of the required number of parking stalls.

As proposed, no additional building square footage will be constructed and thus will not intensify the parking requirements. Therefore, the requirement of 33 parking stalls will remain the same and since the subject property will continue to provide a total of 22 parking stalls, there is no need to amend MOD 1206.

Landscaping:

As previously approved, the subject property provided a total of 6,566 sq. ft. of landscaping. The proposed project does not result in the intensification of the building area and thus does not require additional landscaping. It should be noted that a portion of the required front landscape strip will be replaced with grasscrete and, as a result, will allow for two (2) additional vehicles to park. The applicant is, therefore, concurrently requesting consideration and approval of a Modification Permit to allow for the dual usage of the landscape strip along Pike Street.

MODIFICATION PERMIT CASE NO. 1316

Pursuant to Section 155.248 of the City's Zoning Ordinance, the front yard setback required for M-2 zoned properties is 20', unless the property fronts onto a major or secondary highway, which then requires a minimum setback of 30'. Nevertheless, a property containing a building with a height greater than the minimum front yard setback distance, shall be one foot for each foot of the building, or portion thereof. As proposed, the minimum setback along Pike Street should be 28', based on the existing building height.

Although, the project does not meet the standard setback requirement as defined by the City's Zoning Ordinance, it should be noted that the portion of the structure which encroaches into the front setback is the structural support for the proposed canopy. The primary canopy area, carport, and garage all provide a setback equal to or greater than the required one-to-one ratio.

MODIFICATION PERMIT CASE NO. 1320

In accordance with the City's Zoning Ordinance, a minimum 15'-wide landscape strip is required between the on-site parking area and the property line adjoining the public street, unless the property fronts onto a major or secondary highway, which then requires a minimum 20' wide landscape strip. As proposed, the applicant will be providing a 30'-wide landscape strip along Norwalk Boulevard and a 15'-wide landscape strip along Pike Street. However, the applicant is proposing to replace a portion of the landscape strip located between the two existing driveways with grasscrete and as a result, allow for two (2) additional parking stalls.

Grasscrete is a pervious reinforced concrete structure for all types of trafficked areas that is either covered with grass or has grass growing in the voids of the structure. The dual purpose surface area will allow for vehicles to park on top of the landscaping material, while providing a landscape appearance. Although the subject property will not be providing a traditional landscape strip, it should be noted that the applicant will be maintaining the number of parking stalls originally granted and still provide the visual presence of landscaping in the appropriate location.

STREETS AND HIGHWAYS

The subject site is located on the northwest corner of Norwalk Boulevard and Pike Street. Norwalk Boulevard is designated as a "Major Arterial" and Pike Street is designated as a "Local Street", within the Circulation Element of the City's General Plan.

ZONING AND LAND USE

The subject property is zoned M-2 (Heavy Manufacturing). The property has a General Plan Land Use designation of Industrial. The zoning, General Plan and land use of the surrounding properties are as follows:

Surrounding Zoning, General Plan Designation, Land Use			
Direction	Zoning District	General Plan	Land Use (Address/Business Name)
North	M-2, Heavy Manufacturing, Zone	Industrial	<u>Auto Repair</u> (9403 Norwalk Blvd/Vince's Truck Bodies)
South	M-2, Heavy Manufacturing, Zone	Industrial	<u>Warehouse/Distribution</u> (9501 Norwalk Blvd/McKesson Corp. Distribution Center)
East	M-2, Heavy Manufacturing, Zone	Industrial	<u>Manufacturing/Distribution</u> (9440 Norwalk Blvd/Superior Press)
West	M-2, Heavy Manufacturing, Zone	Industrial	<u>Auto Repair</u> (11708 Pike Street/Quality Truck & Auto Repair)

LEGAL NOTICE OF PUBLIC HEARING

This matter was set for Public Hearing in accordance with the requirements of Sections 65090 through 65096 of the State Planning, Zoning and Development Laws and the requirements of Sections 155.860 through 155.864 of the City's Municipal Code.

Legal notice of the Public Hearing for the proposed project was sent by first class mail to all property owners whose names and addresses appear on the latest County Assessor's Roll within 500 feet of the exterior boundaries of the subject property on December 19, 2019. The legal notice was also posted in Santa Fe Springs City Hall, the City Library and the City's Town Center kiosk on December 19, 2019, and published in a newspaper of general circulation (Whittier Daily News) December 26, 2019, as required by the State Zoning and Development Laws and by the City's Zoning Ordinance. As of the date of this report, staff has not received any comments and/or inquiries regarding the proposed project.

ZONING REQUIREMENTS

The procedures set forth in Section 155.736 of the Zoning Ordinance, states that a DPA is required for the siting of new structures or additions or alterations to existing

structures. Additionally, in consideration of a Modification Permit request, The Planning Commission must consider various conditions and considerations as set forth in Sections 155.695 and 155.696 of the Zoning Ordinance.

Code Section:	Development Plan Approval
155.736	<u>Section 155.736</u> The purpose of the development plan approval is to assure compliance with the provisions of this chapter and to give proper attention to the siting of new structures or additions or alterations to existing structures, particularly in regard to unsightly and undesirable appearance, which would have an adverse effect on surrounding properties and the community in general.

Code Section:	Front Yard
155.248	<u>Section 155.248</u> Each lot shall have a front yard of not less than 20 feet extending across the full width of the lot, except that where adjoining a major or secondary highway, or a street adjoining a freeway, the front yard shall be 30 feet. Notwithstanding this provision, on any lot containing a building with a height greater than the minimum front yard setback distance of the lot, the front yard setback shall be one foot for each foot of building height or portion thereof.

Code Section:	Landscaping
155.260	<u>Section 155.260</u> (C) For property with frontage on a local street, a minimum 15 feet wide landscaping strip shall be required between the on-site parking area and the property line adjoining a public street, excepting locations for driveways. On lots fronting a major or secondary highway, said landscaping strip shall be 20 feet in width.

ENVIRONMENTAL DOCUMENTS

After staff review and analysis, staff intends to file a Notice of Exemption (NOE) with the Los Angeles County Clerk within five (5) days of project approval (if the Planning Commission agrees), specifically Class 1, Section 15301 (Existing Facilities) and Class 3, Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA). The proposed

project will not create additional building square footage and is simply minor exterior improvements. Additionally, the project site is not listed on the Hazardous Waste and Substance Site List (Cortese List) as set forth in Government Code Section 65962.5.

AUTHORITY OF PLANNING COMMISSION

Development Plan Approval

The Planning Commission has the authority, subject to the procedures set forth in the City's Zoning Ordinance, to grant a Development Plan Approval when it has been found that said approval is consistent with the requirements, intent and purpose of the City's Zoning Ordinance. The Commission may grant, conditionally grant or deny approval of a proposed development plan based on the evidence submitted and upon its own study and knowledge of the circumstances involved, or it may require submission of a revised development plan.

Modification Permit

The Planning Commission has the authority, subject to the procedures set forth in the City's Zoning Ordinance, to grant a modification from requirements of property development standards set forth in the City's Zoning Ordinance when it is found that the strict and literal interpretation of such provisions would cause undue difficulties and unnecessary hardships inconsistent with the intent and general purpose of the City's Zoning Ordinance. The Commission may grant, conditionally grant or deny a modification based on the evidence submitted and upon its own study and knowledge of the circumstances

CRITERIA FOR GRANTING A DEVELOPMENT PLAN APPROVAL

The Commission should note that in accordance with Section 155.739 of the City's Zoning Ordinance, before granting a Development Plan Approval, the Commission shall give consideration to the following:

- 1) That the proposed development is in conformance with the overall objectives of this chapter.
- 2) That the architectural design of the proposed structures is such that it will enhance the general appearance of the area and be in harmony with the intent of this chapter.
- 3) That the proposed structures be considered on the basis of their suitability for their intended purpose and on the appropriate use of materials and on the principles of proportion and harmony of the various elements of the buildings or structures.
- 4) That consideration be given to landscaping, fencing and other elements of the proposed development to ensure that the entire development is in

harmony with the objectives of this chapter.

- 5) That it is not the intent of this subchapter to require any particular style or type of architecture other than that necessary to harmonize with the general area.
- 6) That it is not the intent of this subchapter to interfere with architectural design except to the extent necessary to achieve the overall objectives of this chapter.
- 7) As a means of encouraging residential development projects to incorporate units affordable to extremely low income households and consistent with the city's housing element, the city will waive Planning Department entitlement fees for projects with a minimum of 10% extremely low income units. For purposes of this section, extremely low income households are households whose income does not exceed the extremely low-income limits applicable to Los Angeles County, as published and periodically updated by the state's Department of Housing and Community Development pursuant Cal. Health and Safety Code § 50106.

CRITERIA FOR GRANTING A MODIFICATION PERMIT

The Commission should note that in accordance with Section 155.695 of the City's Zoning Ordinance, before granting a Modification Permit, the Commission shall satisfy itself that the applicant has shown that all of the following conditions apply:

- 1) That the granting of the modification would not grant special privileges to the applicant not enjoyed by other property owners in the area.
- 2) That the subject property cannot be used in a reasonable manner under the existing regulations.
- 3) That the hardship involved is due to unusual or unique circumstances.
- 4) That the modifications, if granted, would not be detrimental to other persons or properties in the area nor be detrimental to the community in general.

In addition, pursuant to Section 155.696 of the City's Zoning Ordinance, the Commission shall also take into consideration the following factors in making a determination as to whether or not there are practical difficulties or hardships involved:

- 1) That there are particular physical circumstances due to the shape or condition of the property which result in a hardship under the existing regulations, as distinguished from a mere inconvenience.

- 2) That the purpose of the modification is not based exclusively on the financial advantage to the owner.
- 3) That the alleged difficulties were not created by any person presently having an interest in the property.
- 4) That the conditions involved are not generally applicable to most of the surrounding properties.
- 5) That the requested modification would not diminish property values in the neighborhood.
- 6) That the proposed modification will not increase congestion or endanger the public safety.

STAFF REMARKS

Based on the findings set forth in the attached Resolution (151-2020), Staff finds that the applicant's request meets the criteria set forth in §155.739 of the City's Zoning Ordinance, for the granting of a Development Plan Approval. Staff also finds that the applicants request meets the criteria set forth in §155.695 and §155.696 of the Zoning Ordinance, for the granting of a Modification Permit.

CONDITIONS OF APPROVAL

Conditions of approval for ADPA 847, MOD 1316, and MOD 1320 are attached to Resolution 151-2020 as Exhibit A.



Wayne M. Morrell
Director of Planning

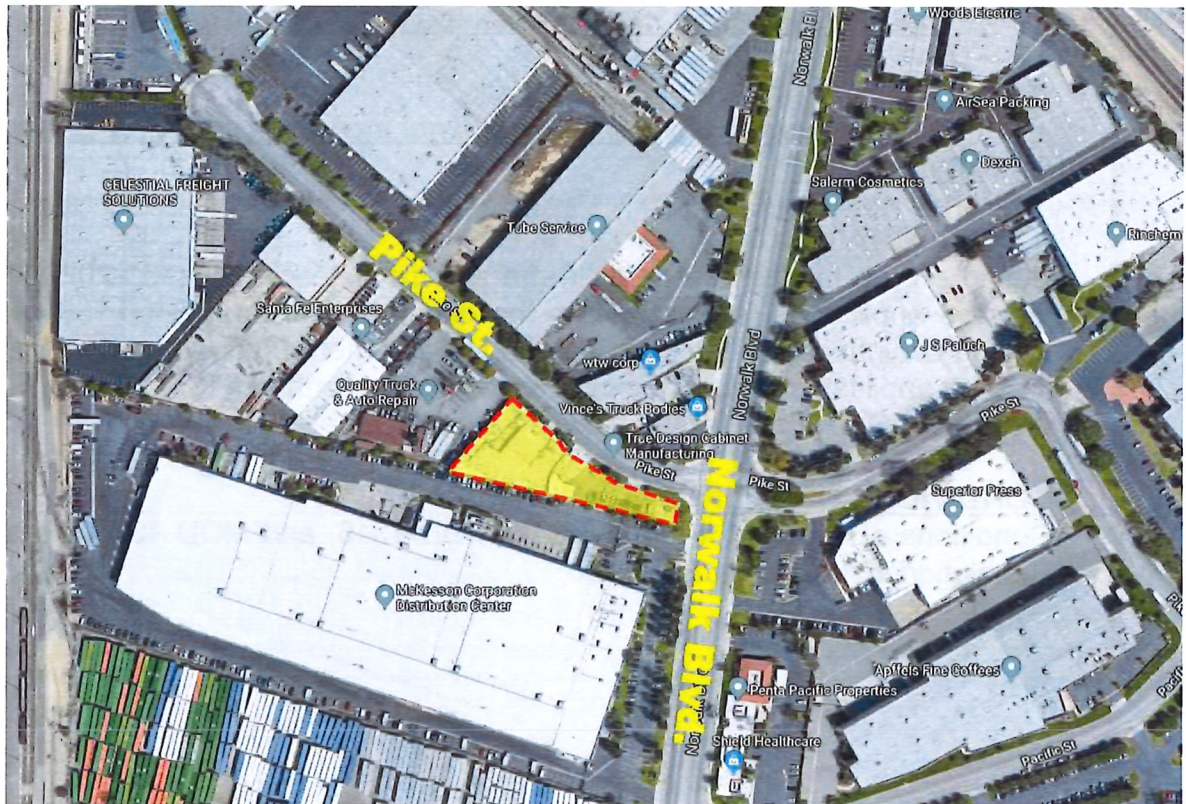
Attachments:

1. Aerial Photograph
2. Public Hearing Notice
3. Radius Map for Public Hearing Notice
4. Resolution 151-2020
 - a. Exhibit A – Conditions of Approval
5. Full Set of Proposed Plans

Attachment 1: Aerial Photograph



CITY OF SANTA FE SPRINGS



AERIAL PHOTOGRAPH

AMENDMENT OF DEVELOPMENT PLAN APPROVAL CASE NO. 847,
MODIFICATION PERMIT CASE NO. 1316, &
MODIFICATION PERMIT CASE NO. 1320



NORTH

9427 Norwalk Boulevard
(Applicant: Hani Abi Naked)

Attachment 2: Public Hearing Notice

FILE COPY

11710 Telegraph Road • CA • 90670-3679 • (562) 868-0511 • Fax (562) 868-7112 • www.santafesprings.org*"A great place to live, work, and play"*

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**CITY OF SANTA FE SPRINGS
 NOTICE OF PUBLIC HEARING
 AMENDMENT OF DEVELOPMENT PLAN APPROVAL CASE NO. 847,
 MODIFICATION PERMIT CASE NO. 1316, &
 MODIFICATION PERMIT CASE NO. 1320**

NOTICE IS HEREBY GIVEN: that a Public Hearing will be held before the City of Santa Fe Springs Planning Commission for the following:

AMENDMENT OF DEVELOPMENT PLAN APPROVAL CASE NO. 847: A request for approval to modify the existing development through the construction of a new solar carport, garage, and canopy on the subject property located at 9427 Norwalk Boulevard (APN: 8002-015-015), within the M-2, Heavy Manufacturing, Zone;

MODIFICATION PERMIT CASE NO. 1316: A request for approval to allow the proposed canopy support to encroach 8' into the required front yard setback along Pike Street; and

MODIFICATION PERMIT CASE NO. 1320: A request for approval to replace a portion of the required landscape strip with grasscrete along Pike Street for added parking.

APPLICANT / PROJECT LOCATION: Hani Abi Naked/ 9427 Norwalk Boulevard (APN: 8002-015-015)

CEQA STATUS: After staff review and analysis, staff intends to file a Notice of Exemption (NOE) with the Los Angeles County Clerk within five (5) days of project approval (if the Planning Commission agrees), specifically Class 1, Section 15301 (Existing Facilities) and Class 3, Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA). Additionally, the project site is not listed on the Hazardous Waste and Substance Site List (Cortese List) as set forth in Government Code Section 65962.5.

THE HEARING will be held before the Planning Commission of the City of Santa Fe Springs in the Council Chambers of the City Hall, 11710 Telegraph Road, Santa Fe Springs, on Monday, January 13, 2020 at 6:00 p.m.

ALL INTERESTED PERSONS are invited to attend the Public Hearing before Planning Commission and express their opinion on the subject items listed above. You should note that if you challenge the afore-mentioned Development Plan Approval in court, you may be limited to raising only those issues you or someone else raised at the Public

Juanita Trujillo, Mayor • William K. Rounds, Mayor Pro Tem
 City Council
 John M. Mora • Annette Rodriguez • Joe Angel Zamora
 City Manager
 Raymond R. Cruz

Attachment 2: Public Hearing Notice (Cont.)

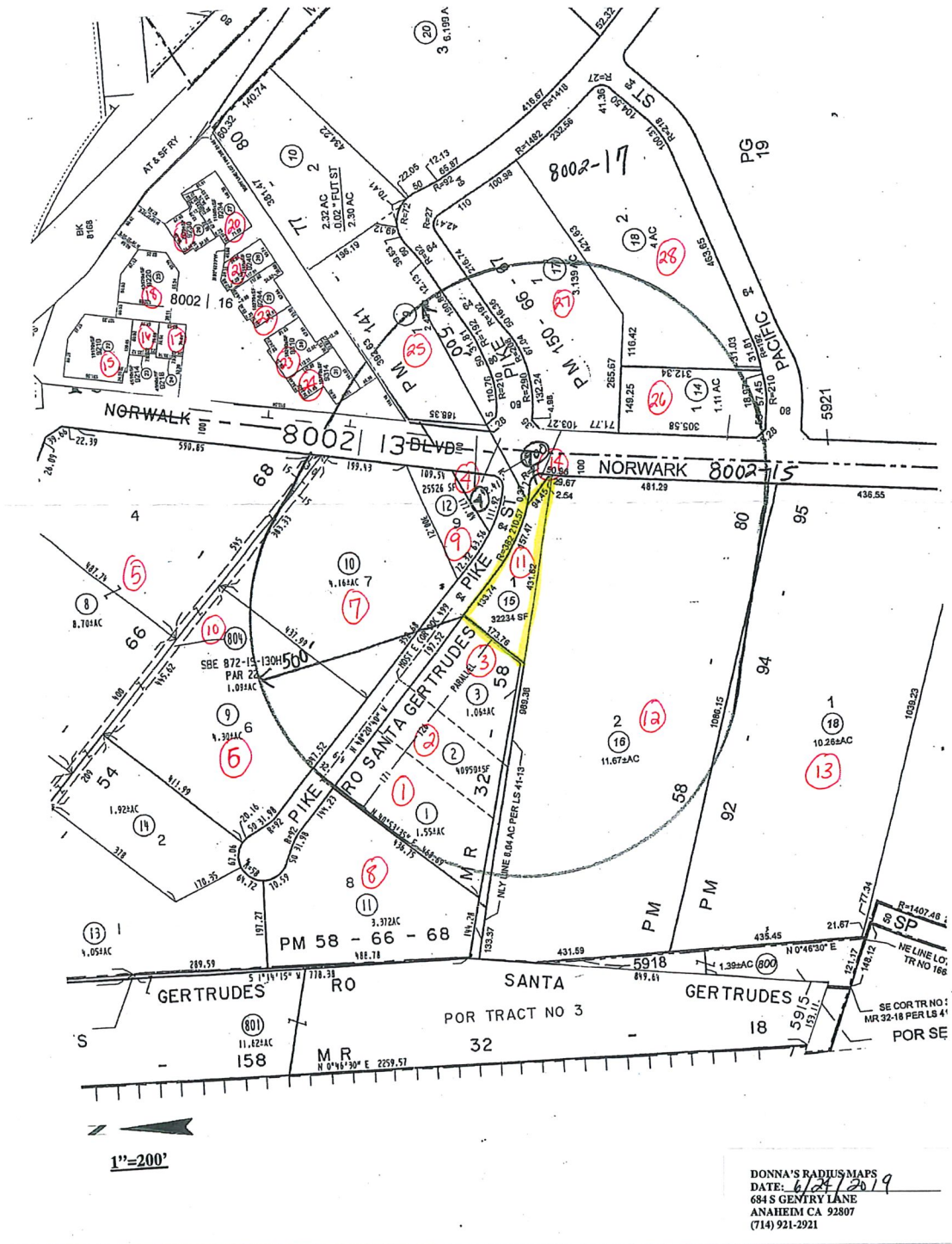
Hearing described in this notice, or in written correspondence delivered to the office of the Commission at, or prior to, the Public Hearing.

FURTHER INFORMATION on this item may be obtained at the City of Santa Fe Springs Planning Department, 11710 Telegraph Road, Santa Fe Springs, California 90670 or by telephone or e-mail: (562) 868-0511, extension 7353, vincevelasco@santafesprings.org.

Wayne M. Morrell
Director of Planning
City of Santa Fe Springs
11710 Telegraph Road
Santa Fe Springs, CA 90670

Juanita Trujillo, Mayor • William K. Rounds, Mayor Pro Tem
City Council
John M. Mora • Annette Rodriguez • Joe Angel Zamora
City Manager
Raymond R. Cruz

Attachment 3: Radius Map for Public Hearing Notice



**Attachment 4: Resolution 151-2020
Exhibit A – Conditions of Approval**

CITY OF SANTA FE SPRINGS
RESOLUTION NO. 151-2020

**A RESOLUTION OF THE PLANNING COMMISSION OF
THE CITY OF SANTA FE SPRINGS REGARDING
AMENDMENT OF DEVELOPMENT PLAN APPROVAL CASE NO. 847,
MODIFICATION PERMIT CASE NO. 1316, AND
MODIFICATION PERMIT CASE NO. 1320.**

WHEREAS, a request was concurrently filed for Amendment of Development Plan Approval Case No. 847 to modify the existing development through the construction of a new solar carport, garage, and canopy on the subject property located at 9427 Norwalk Boulevard (APN: 8002-015-015), within the M-2, Heavy Manufacturing, Zone; and

WHEREAS, a request was concurrently filed for Modification Permit Case No. 1316 to allow the proposed canopy support to encroach 8' into the required front yard setback along Pike Street; and

WHEREAS, a request was concurrently filed for Modification Permit Case No. 1316 to replace a portion of the required landscape strip with grasscrete along Pike Street for two additional parking stalls; and

WHEREAS, the subject property is located on the southwest corner of Norwalk Boulevard and Pike Street, with Accessor's Parcel Numbers of 8002-015-015, as shown in the latest rolls of the Los Angeles County Office of the Assessor; and

WHEREAS, the property owner is HDRR, LLC, 9427 Norwalk Boulevard, Santa Fe Springs, CA 90670; and

WHEREAS, the proposed development which includes Amendment of Development Plan Approval Case No. 847, Modification Permit Case No. 1316, and Modification Permit Case No. 1320 is considered a project as defined by the California Environmental Quality Act (CEQA), Article 20, Section 15378(a); and

WHEREAS, the City of Santa Fe Springs Planning and Development Department on December 26, 2019 published a legal notice in the *Whitter Daily News*, a local paper of general circulation, indicating the date and time of the public hearing, and also mailed said public hearing notice on December 19, 2019 to each property owner within a 500 foot radius of the project site in accordance with state law; and

WHEREAS, the City of Santa Fe Springs Planning Commission has considered the application, the written and oral staff report, the General Plan and zoning of the subject property, the public testimony, written comments, or other materials presented at the Planning Commission Meeting on January 13, 2020 concerning the environmental findings and determination, Amendment of Development Plan Approval Case No. 847, Modification Permit Case No. 1316, and Modification permit Case No. 1320.

NOW, THEREFORE, be it RESOLVED that the PLANNING COMMISSION of the CITY OF SANTA FE SPRINGS does hereby RESOLVE, DETERMINE and ORDER AS FOLLOWS:

SECTION I. ENVIRONMENTAL FINDINGS AND DETERMINATION

Pursuant to Section 15301, Class 1 (Existing Facilities) and Class 3 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA), the Planning Commission hereby finds and determines that the project is categorically exempt, in that the proposed project will not create additional building square footage and is simply minor exterior improvements. It, therefore, has been determined that additional environmental analysis is not necessary to meet the requirements of CEQA.

SECTION II. DEVELOPMENT PLAN APPROVAL FINDINGS

Pursuant to Section 155.739 of the City of Santa Fe Springs Zoning Regulations, the Planning Commission has made the following findings:

(A) *That the proposed development is in conformance with the overall objectives of this chapter.*

The proposed project is located within the M-2, Heavy Manufacturing, Zone. Pursuant to Section 155.240 of the Zoning Regulations, "The purpose of the M-2 Zone is to preserve the lands of the city appropriate for heavy industrial uses, to protect these lands from intrusion by dwellings and inharmonious commercial uses, to promote uniform and orderly industrial development, to create and protect property values, to foster an efficient, wholesome and aesthetically pleasant industrial district, to attract and encourage the location of desirable industrial plants, to provide an industrial environment which will be conducive to good employee relations and pride on the part of all citizens of the community and to provide proper safeguards and appropriate transition for surrounding land uses."

The proposed project is consistent with the purpose of the M-2 Zone in the following manner:

1. The land is appropriate for industrial uses based on its zoning, M-2, Heavy Manufacturing and its General Plan Land Use designation of Industrial.
2. The proposed project will result in a new carport, canopy, and grasscrete landscaping, therefore the land is being maintained for industrial uses.
3. The project involves the construction of new exterior improvements to enhance the aesthetics and functionality of an existing industrial building, which was last improved in 2012. The assessed value of the property will increase after the project, thus leading to a likely surge in property values for both the subject property and neighboring properties.

- (B) That the architectural design of the proposed structures is such that it will enhance the general appearance of the area and be in harmony with the intent of this chapter.

The applicant is proposing to construct a new carport, garage and canopy structure. The new exterior improvements have been designed to match the existing industrial building in color, style, and materials. The Planning Commission therefore, finds that the result is an attractive project with a contemporary design that is comparable to other high quality industrial projects in Santa Fe Springs.

- (C) That the proposed structures be considered on the basis of their suitability for their intended purpose and on the appropriate use of materials and on the principles of proportion and harmony of the various elements of the buildings or structures.

The design of the new exterior improvements provide quality architectural design, as demonstrated by the wood trellises and paint scheme which will match the existing building. In addition, the project will consist of a glass panel garage door to further enhance the overall design. These architectural design elements present an attractive, distinctive appearance to visitors. The Planning Commission therefore, finds that the design of the new carport, garage, and canopy is suitable for the existing building, and the distinctive design of the overall project represents the architectural principles of proportion and harmony.

- (D) That consideration be given to landscaping, fencing and other elements of the proposed development to ensure that the entire development is in harmony with the objectives of this chapter.

Extensive consideration has been given to numerous elements of the proposed project to achieve harmony with the City's Zoning Ordinance. Since the subject property is an irregular shaped corner lot, the majority of the landscaping will be provided along Norwalk Boulevard and Pike Street for maximum aesthetic value. Additionally, the proposed trash enclosure has been strategically placed where it is not visible or easily accessible by the public, and where it has the least impact on adjacent properties. As a result, the Planning Commission believes that the proper consideration has been given to landscaping, fencing, and other elements of the proposed project to ensure that the project is harmonious with the objectives of the City's Zoning Ordinance.

- (E) That it is not the intent of this subchapter to require any particular style or type of architecture other than that necessary to harmonize with the general area.

As stated previously, the proposed exterior improvements are contemporary in design. The architect used wood trellises, glass panels for the garage door, and colors to match the existing building. The style and architecture of the proposed project is consistent with other high quality designs that were recently constructed in the general area. The Planning Commission therefore, finds that the necessary architectural style was chosen for the proposed project to be harmonious with the general area.

- (F) That it is not the intent of this subchapter to interfere with architectural design except to the extent necessary to achieve the overall objectives of this chapter.

Pursuant to Section 155.736 of the Zoning Ordinance “The purpose of the development plan approval is to assure compliance with the provisions of this chapter and to give proper attention to the siting of new structures or additions or alterations to existing structures, particularly in regard to unsightly and undesirable appearance, which would have an adverse effect on surrounding properties and the community in general.” As a result, the Planning Commission believes that proper attention has been given to the location, size, and design of the proposed exterior improvements.

- (G) As a means of encouraging residential development projects to incorporate units affordable to extremely low income households and consistent with the city's housing element, the city will waive Planning Department entitlement fees for projects with a minimum of 10% extremely low income units. For purposes of this section, extremely low income households are households whose income does not exceed the extremely low-income limits applicable to Los Angeles County, as published and periodically updated by the state's Department of Housing and Community Development pursuant Cal. Health and Safety Code § 50106.

The Planning Commission finds that the proposed project is not a residential development and therefore, the requirements pertaining to low income units do not apply.

SECTION III. MODIFICATION PERMIT FINDINGS

Pursuant to Section 155.695 of the City of Santa Fe Springs Zoning Regulations, the Planning Commission shall consider the following findings in their review and determination of the subject Modification Permit. Based on the available information, the City of Santa Fe Springs Planning Commission hereby make the following findings:

- (A) That the granting of the modification would not grant special privileges to the applicant not enjoyed by other property owners in the area.

Setback

The Planning Commission would not be granting special privileges to the applicant since similar requests have been granted in the past. The chart provided below identifies similar Modification Permits granted for a setback reduction to a corner property. It should also be noted that not only is the subject property is a corner lot, but an irregular-shaped, corner lot, which further restricts potential development.

Previous Setback Modifications

Case No.	Site Address	Request	Date Approved
MOD 1302	10415 Norwalk Blvd	Setback Reduction	November 2018
MOD 1295	8739 Dice Rd	Setback Reduction	October 2018
MOD 1263	9211 Sorensen Av	Setback Reduction	August 2016
MOD 1270	12636 Los Nietos Rd	Setback Reduction	July 2016
MOD 1266	9102 & 9046 Dice Rd	Setback Reduction	May 2016

Landscape

The Planning Commission would not be granting special privileges to the applicant since similar requests have been granted in the past. The chart provided below identifies similar Modification Permits granted for a reduction of the standard landscape requirements.

Previous Landscape Modifications

Case No.	Site Address	Request	Date Approved
MOD 1301	10415 Norwalk Blvd	Landscape Reduction	November 2018
MOD 1296	8739 Dice Rd	Landscape Reduction	October 2018
MOD 1270	12636 Los Nietos Rd	Landscape Reduction	July 2016
MOD 1243	10200 Matern Pl	Landscape Reduction	June 2014
MOD 1242	10240 Geary Av	Landscape Reduction	August 2014

As a result, the Planning Commission finds that the granting of both modifications would not grant special privileges to the applicant not enjoyed by other property owners in the area.

- (B) *That the subject property cannot be used in a reasonable manner under the existing regulations.*

Setback

Although, the proposed structural support could technically be setback to align with the provided setback, doing so would impact the existing on-site circulation. If the support column were to be setback to meet the minimum requirements, it would be located in the middle of the parking area and thus not allow proper ingress and egress. The required one-to-one setback is based on the highest point of the existing building. It should be noted that independently, the canopy structure exceeds the required one-to-one setback by half of an inch. Therefore, due to the necessary structural requirements, the Planning Commission finds that the canopy cannot be built in a reasonable manner under the existing regulations.

Landscape

In May 2008, the Planning Commission approved MOD 1206 to allow a reduction of 11 required parking stalls and as a result, the property is now required to maintain a total of 22 of 33 parking stalls. Due to the reconfiguration of the parking area to include the proposed carport, garage, and canopy structures, the remaining parking

stalls provided would be reduced by two (2) stalls; however, the applicant will be providing a grasscrete material within the front landscaping area along Pike Street. The grasscrete design will be incorporated to match the existing landscaping planter and allow for two (2) vehicles to park in said area, while providing the visual appearance of landscaping. The Planning Commission finds that the proposed grasscrete is an acceptable design solution to providing both the landscaping and parking requirements for the subject site. Given the property is an irregular-shaped, corner lot, it therefore cannot be used in a reasonable manner under the existing regulations.

(C) *That the hardship involved is due to unusual or unique circumstances.*

Setback

The Planning Commission finds that the unusual or otherwise unique circumstance related to the subject property is the fact that it is located on a corner which means there are two frontages thus, requiring substantially greater setback and landscaping compared to a standard interior lot that has only one street frontage. The building envelope, or otherwise developable area, for a corner lot is generally much smaller than a typical interior lot. Moreover, the subject corner lot is irregular-shaped.

Landscape

As mentioned previously, the subject property contains two street frontages which require substantially more landscaping compared to a standard interior lot that has only one frontage since landscape requirements is calculated based on the overall width of the frontage. In addition, the subject property is an irregular-shaped, corner lot, which provides further challenges to meet the landscape requirements set forth in the City's Zoning Ordinance. The Commission , therefore, finds that the hardship involved is due to the unique shape of the subject corner lot.

(D) *That the modifications, if granted, would not be detrimental to other persons or properties in the area nor be detrimental to the community in general.*

Setback

The modification permit, if granted, would not be detrimental to other persons or properties in the area. The proposed canopy structure will have an overall height of 20'-6" with a setback of 20' from Pike Street. Although the one-to-one setback requirement is 28' based on the overall height of the existing building, the canopy structure, independently, is setback only a half-inch greater than its overall height. Therefore, The Planning Commission finds that the setback deviation will not be detrimental to other persons or properties in the area nor be detrimental to the community in general.

Landscape

The Planning Commission finds that the modification permit, if granted would not be detrimental to other persons or properties in the area. As mentioned previously, although the landscape area will not meet the minimum requirements set forth in the

City's Zoning Ordinance, the majority of the landscaped areas are located along the property's frontage for maximum aesthetic value. In addition, the applicant will be providing grasscrete to provide a dual use scenario, whereby two (2) vehicles may park over the grasscrete area, if needed, yet also provide a visual representation of landscaping.

In addition, pursuant to Section 155.696 of the City's Zoning Regulations, the Commission shall also take into consideration the following factors in making a determination as to whether or not there are practical difficulties or hardships involved:

- (A) *That there are particular physical circumstances due to the shape or condition of the property which result in a hardship under the existing regulations, as distinguished from a mere inconvenience.*

Setback and Landscape

The unusual or otherwise unique circumstance related to the subject property is the fact that it is located on a corner which means there are two frontages thus requiring substantially greater setback and landscaping compared to a standard interior lot that has only one street frontage. The building envelope, or otherwise developable area, for a corner lot is generally much smaller than a typical interior lot. Additionally, when compared to a typical industrial lot within the City, the subject property is considered relatively small (0.74 acres). Its compact size, coupled with the fact that it is an irregular-shaped corner lot, makes it challenging to design a project that is attractive and also meets all City Zoning requirements. The Planning Commission therefore, finds that the hardships mentioned are therefore directly related to the property's physical circumstance and not just a mere inconvenience.

- (B) *That the purpose of the modification is not based exclusively on the financial advantage to the owner.*

Setback

As mentioned previously, elements that extend into the required front yard setback are to structurally support the proposed canopy. Specifically, if the support beam were to be placed in accordance to the Zoning requirements, it would have a significant impact the on-site circulation. Constructing a canopy does not provide the owner with any financial advantage. Its purpose is simply to provide shelter from the elements when deliveries are made. The Planning Commission, therefore, finds the requested modification is not based exclusively on the financial advantage to the owner.

Landscape

As previously mentioned, the subject property contains dual frontage; therefore, to meet the City's Zoning requirements, the proposed development is required to provide a greater amount of landscaping than the typical interior lot. Nevertheless, the applicant has made a noticeable effort to maximize the landscaping throughout

the site. The Planning Commission finds that the implementation of grasscrete to the existing landscape planter will be an added cost for the property owner and, therefore, does not provide a financial advantage.

- (C) *That the alleged difficulties were not created by any person presently having an interest in the property.*

Setback and Landscape

As mentioned previously, because the subject property is located on a corner, and it is both irregular-shaped and relatively small in size, it is more difficult to develop a project that meets all required development standards when compared to a standard interior industrial lot. The Planning Commission finds that the aforementioned circumstance is directly related to the property's physical circumstance and was not created by the applicant or any person having an interest in the property.

- (D) *That the conditions involved are not generally applicable to most of the surrounding properties.*

Setback and Landscape

With the exception of the property on the northwest corner of Norwalk Boulevard and Pike Street, which is similarly smaller in size (0.20 acres), other adjacent and nearby properties are all fairly large in size which provides greater flexibility in site design options. The Planning Commission therefore, finds that the conditions involved are not generally applicable to most of the surrounding properties.

- (E) *That the requested modification would not diminish property values in the neighborhood*

Setback and Landscape

The requested modifications, if approved, will allow various architectural features and to the existing building while maintaining the aesthetic value. Additionally, the applicant has provided grasscrete material within the existing landscaping area to maintain the 22 parking stalls that are dictated by MOD 1206. As such, the Planning Commission finds that allowing minor deviations to the setback and landscape regulations for the subject project would not diminish property values in the neighborhood, but rather, it would result in a more attractive project that would be an enhancement to the overall area.

- (F) *That the requested modification will not increase congestion or endanger the public safety.*

Setback and Landscape

The Planning Commission finds that the proposed modifications will not increase congestion or endanger the public safety. The proposed exterior improvements will not increase the existing building square footage and, therefore, will not require additional parking stalls. Additionally, the applicant has been conditioned to maintain

an employee roster which doesn't exceed 22 people on the largest shift to coincide with the available parking stalls that will be provided and maintained on-site.

SECTION IV. PLANNING COMMISSION ACTION

The Planning Commission hereby adopts Resolution No. 151-2020 to approve Amendment of Development Plan Approval Case No. 847 to modify the existing development through the construction of a new solar carport, garage, and canopy, Modification Permit Case No. 1316 to allow the proposed canopy support to encroach 8' into the required front yard setback along Pike Street, and Modification Permit Case No. 1320 to replace a portion of the required landscape strip with grasscrete along Pike Street for added parking for the subject property located at 9427 Norwalk Boulevard, subject to conditions attached hereto as Exhibit A.

ADOPTED and APPROVED this 13th day of January, 2020 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE SPRINGS.

Frank Ybarra, Chairperson

ATTEST:

Teresa Cavallo, Planning Secretary

Exhibit A – Conditions of Approval

Amendment of Development Plan Approval Case No. 847,
Modification Permit Case No. 1316, &
Modification Permit Case No. 1320
9427 Norwalk Boulevard (APN: 8002-015-015)

CONDITIONS OF APPROVAL

ENGINEERING / PUBLIC WORKS DEPARTMENT: (Contact: Robert Garcia 562-868-0511 x7545)

1. ~~That the owner shall pay a flat fee of \$16,000 to resurface the existing street frontage to centerline for Pike Street. (Satisfied)~~
2. ~~That the owner shall execute an affidavit agreeing to the addition of a cost-of-living adjustment to the existing Street Light Assessment District. Annual adjustments shall be based on the Consumer Price Index for Los Angeles County and will not exceed 3% per year. (Satisfied)~~
3. ~~That the owner shall execute an affidavit agreeing to participate in a future street maintenance district or other type of benefit assessment district to slurry seal, resurface and reconstruct the street frontage on regular intervals (5-year, 10-year and 20-year intervals, respectively, as determined by the City Engineer). The owner shall retain the right to challenge the costs and method of spreading future assessments. (Satisfied)~~
4. ~~That the fire sprinkler plans, which show the proposed double-check valve detector assembly location, shall have a stamp approval from the Planning Department and Public Works Department prior to the Fire Department's review for approval. Disinfection, pressure and bacteriological testing on the line between the street and detector assembly shall be performed in the presence of personnel from the City Water Department. The valve on the water main line shall be operated only by the City and only upon the City's approval of the test results. (Satisfied)~~
5. ~~That the owner/developer shall obtain a Storm Drain Connection Permit for any connection to the storm drain system. (Satisfied)~~
6. ~~That the owner shall comply with Congestion Management Program (CMP) requirements and provide mitigation of trips generated by the development. The owner and/or developer will receive credit for the demolition of any buildings that formerly occupied the site. For new developments, the owner and/or developer cannot meet the mitigation requirements, the owner and/or developer shall pay a mitigation fee to be determined by the City Engineer for off-site transportation improvements. (Satisfied)~~

7. ~~That upon completion of public improvements constructed by developers, the developer's civil engineer shall submit mylar record drawings and an electronic file (AutoCAD Version 2004 or higher) to the office of the City Engineer. (Satisfied)~~
8. ~~That the owner/developer shall comply with the National Pollutant Discharge Elimination System (NPDES) program and shall require the general contractor to implement storm water/urban runoff pollution prevention controls and Best Management Practices (BMPs) on all construction sites in accordance with Chapter 52 of the City Code. The owner/developer will also be required to submit a Certification for the project and may be required to prepare a Storm Water Pollution Prevention Plan (SWPPP). Projects over five acres in size will be required to file a Notice of Intent (NOI) with the State Water Resources Control Board (SWRCB). The owner/developer can obtain the current application packet by contacting the SWRCB, Division of Water Quality, at (916) 657-1977 or by downloading the forms from their website at <http://www.swrcb.ca.gov/stormwtr/construction.html>. The project shall also conform to Ordinance 915 regarding the requirements for the submittal of a Standard Urban Storm Water Mitigation Plan ("SUSMP"). The SUSMP includes a requirement to implement Post Construction BMPs to infiltrate the first 3/4" of runoff from all storm events and to control peak flow discharges. Unless exempted by the Los Angeles Regional Water Quality Control Board, a Covenant and Restriction ensuring the provisions of the approved SWPPP shall also be required. (Satisfied)~~

FIRE DEPARTMENT – FIRE PREVENTION DIVISION:
(Contact: Raul Diaz 562.868-0511 x3813)

9. ~~That building additions shall be protected by an approved automatic sprinkler system per Section 93.11 of the Santa Fe Springs Municipal Code. (Satisfied)~~
10. ~~That the owner shall comply with the requirements of Section 117.131 of the Santa Fe Springs Municipal Code, Requirement for a Soil Gas Study, in accordance with Ordinance No. 955, prior to issuance of building permits. (Satisfied)~~
11. ~~That if on-site fire hydrants are required by the Fire Department, a minimum flow must be provided at 2,500 gpm with 1,500 gpm flowing from the most remote hydrant. (Satisfied)~~
12. ~~That the standard aisle width for onsite emergency vehicle maneuvering shall be 26 feet with a minimum clear height of 13 feet 6 inches. Internal driveways shall have a turning radius of not less than 52 feet. The final location and design of this 26 feet shall be subject to the approval of the City's Fire Chief as established by the California Fire Code. A request to provide emergency vehicle aisle width less than 26 feet shall be considered upon the installation/provision of mitigation improvements approved by the City's Fire Chief. (Satisfied)~~
13. ~~That prior to submitting plans to the Building Department or Planning Commission, a preliminary site plan shall be approved by the Fire Department for required access roadways and on-site fire hydrant locations. The site plan shall be drawn at a scale~~

~~between 20 to 40 feet per inch. Include on plan all entrance gates that will be installed. (Satisfied)~~

~~14. That Knox boxes are required for buildings with new additions. All entry gates shall also be equipped with Knox boxes or Knox key switches for power-activated gates. (Satisfied)~~

~~15. That signs and markings required by the Fire Department shall be installed along the required Fire Department access roadways. (Satisfied)~~

FIRE DEPARTMENT – ENVIRONMENTAL DIVISION:
(Contact: Tom Hall 562.868-0511 x3715)

~~16. That prior to issuance of building permits, the owner/developer shall comply with the applicable conditions below and obtain **written certification from the Santa Fe Springs Fire Department** that all applicable conditions have been met: (Satisfied)~~

~~a. Phase I Environmental Audit. Owner/developer has retained a qualified, certified and licensed environmental consultant to perform a Phase I Site Assessment and any soils, geologic, hydrogeologic, engineering and other tests necessary in order to determine if any crude oil, hazardous substances or hazardous wastes, as defined in state or federal law, have been released on, under or about the Property. The owner/developer shall provide the Santa Fe Springs Fire Department with copies of the Phase I Site Assessment and any other assessment information for review and approval. If the site assessment identifies a release, or potential release at the site, the owner/developer must comply with part b.~~

~~b. Phase II Site Assessment/Remedial Action Plan and Report. A Phase II Site Assessment, prepared in accordance with the City's Soil Assessment and Remediation Guidelines for Commercial/Industrial Sites, may be required based on the information presented in the Phase I Site Assessment. The Phase II report must be reviewed and approved by the Santa Fe Springs Fire Department Environmental Protection Division (EPD). Should the Phase II Site Assessment indicate that contaminate levels exceed the City's remediation standards or other regulatory agency guidelines, remedial action will be required. A remedial action workplan must be approved by the EPD and/or another authorized oversight agency before implementation. Once remedial action is complete, a final remedial action report must be submitted and approved.~~

~~c. Soil Management Plan & Report. A Soils Management Plan (SMP) which addresses site monitoring and soil remediation during site development activities may be required. If required, the SMP shall be submitted to the Santa Fe Springs Fire Department for review and approval before grading activities begin. Once grading is complete, a SMP report must be submitted to the Fire Department for final approval. Building plans will not be approved until the SMP report has been approved by the Environmental Protection~~

Division.

17. ~~Permits and approvals. That the owner/developer shall, at its own expense, secure or cause to be secured any and all permits or other approvals which may be required by the City and any other governmental agency having jurisdiction as to the environmental condition of the Property. Permits shall be secured prior to beginning work related to the permitted activity. (Satisfied)~~
18. ~~That all abandoned pipelines, tanks and related facilities shall be removed unless approved by the City Engineer and Fire Chief. Appropriate permits for such work shall be secured before abandonment work begins. (Satisfied)~~
19. ~~That the owner/developer shall comply with all Federal, State and local requirements and regulations included, but not limited to, the Santa Fe Springs City Municipal Code, Uniform Building Code, Uniform Fire Code, Certified Unified Program Agency (CUPA) programs, the Air Quality Management District's Rules and Regulations and all other applicable codes and regulations. (Satisfied)~~
20. ~~That the owner/operator shall submit plumbing plans to the Santa Fe Springs Fire Department and, if necessary, obtain an Industrial Wastewater Discharge Permit Application for generating, storing, treating or discharging any industrial wastewater to the sanitary sewer. (Satisfied)~~

POLICE SERVICES DEPARTMENT:

(Contact: Luis Collazo 562.409-1850 x3320)

21. ~~That the applicant shall provide an emergency phone number and a contact person to the Department of Police Services and the Fire Department. The name, telephone number, fax number and e-mail address of that person shall be provided to the Director of Police Services and the Fire Chief no later than 60 days from the date of approval by the Planning Commission. Emergency information shall allow emergency service to reach the applicant or their representative any time, 24 hours a day. (Satisfied)~~
22. ~~That in order to facilitate the removal of unauthorized vehicles parked on the property, the applicant shall post, in plain view and at each entry to the property, a sign not less than 17" wide by 22" long. The sign shall prohibit the public parking of vehicles and indicate that vehicles will be removed at the owner's expense and also contain the California Vehicle Code that permits this action. The sign shall also contain the telephone number of the local law enforcement agency (Police Services Center (562) 409-1850). The lettering within the sign shall not be less than one inch in height. The applicant shall contact the Police Services Center for an inspection no later than 30 days after the project has been completed and prior to the occupancy permit being issued. (Satisfied)~~
23. That the proposed buildings, including any lighting, fences, walls, cabinets, and poles shall be maintained in good repair, free from trash, debris, litter and graffiti and other forms of vandalism. Any damage from any cause shall be repaired within 72 hours of occurrence, weather permitting, to minimize occurrences of dangerous

conditions or visual blight. Paint utilized in covering graffiti shall be a color that matches, as closely possible, the color of the existing and/or adjacent surfaces. **(On-Going)**

WASTE MANAGEMENT :

(Contact : Teresa Cavallo 562.868-0511 x7309)

24. The applicant shall comply with Section 50.51 of the Municipal Code which prohibits any business or residents from contracting any solid waste disposal company that does not hold a current permit from the City. **(New)**
25. All projects are subject to the requirements of Chapter 50 to reuse or recycle 75% of the project waste. For more information, please contact the City's Environmental Consultant, MuniEnvironmental at (562) 432-3700. **(New)**
26. The applicant shall comply with Public Resource Code, Section 42900 et seq. (California Solid Waste Reuse and Recycling Access Act of 1991) as amended, which requires each development project to provide adequate storage area for the collection/storage and removal of recyclable and green waste materials. **(New)**

PLANNING AND DEVELOPMENT DEPARTMENT:

(Contact: Vince Velasco 562.868-0511 x7353)

27. The approval of the Amendment of Development Plan Approval Case No. 847 is contingent upon the approval of Modification Permit Case No. 1316 to allow the proposed canopy support to encroach 8' into the required front yard setback along Pike Street and Modification Permit Case No. 1320 to replace a portion of the required landscape strip with grasscrete along Pike Street for added parking. **(New)**
28. The garage shall only be used for vehicles and shall not be used for storage. **(New)**
29. The grasscrete material shall be continuously maintained at all times. **(New)**
30. Prior to the issuance of building permits, the applicant shall remove the illegal non-conforming canopy structure adjacent to the north building elevation. **(New)**
31. That all existing or future operations within the subject building shall be limited to a maximum of 22 employees during the largest shift. **(On-Going)**
32. That the owner/applicant shall ensure that ownership of the northeast portion of the site (APN #8002-015-020) shall be secured (deed recorded) prior to beginning any construction within said area. **(On-Going)**

- ~~33. That the fire sprinkler plans, which show the proposed double-check valve detector assembly location, shall have a stamp of approval from the Planning Department and Public Works Department prior to the Fire Department's review for approval. Disinfection, pressure and bacteriological testing on the line between the street and detector assembly shall be performed in the presence of personnel from the City Water Department. The valve on the water main line shall be operated only by the City and only upon the City's approval of the test results. (Satisfied)~~
34. That the Department of Planning and Development requires that the double-check detector assembly be screened by shrubs or other materials. The screening shall only be applicable to the double-check detector assembly and shall not include the fire department connector (FDC). Notwithstanding, the Fire Marshall shall have discretionary authority to require the FDC to be located a minimum distance from the double-check detector assembly. **(Satisfied)**
- ~~35. That all projects over \$50,000 are subject to the requirements of Ordinance No. 914 to reuse or recycle 75% of the project waste. Contact the Recycling Coordinator, Anita Jimenez at (562) 868-0511 x7361. (Relocated to Waste Management Section)~~
36. That the owner/developer shall comply with Public Resource Code, Section 42900 et seq. (California Solid Waste Reuse and Recycling Access Act of 1991) as amended, which requires each development project to provide adequate storage area for the collection/storage and removal of recyclable and green waste materials. **(Relocated to Waste Management Section)**
37. That the applicant shall comply with the City's "Heritage Artwork in Public Places Program" in conformance with City Ordinance No. 909 **1054. (Revised)**
- ~~38. That all roof-mounted mechanical equipment and/or duct work which projects above the roof or roof parapet of the proposed development and is visible from adjacent property or a public street at ground level shall be screened by an enclosure which is consistent with the architecture of the building and approved by the Director of Planning and Development. Contractor shall provide a scaled and fully dimensioned line-of-sight drawing showing the equipment will not be visible at a height of 6 feet from a distance of 300 feet. At minimum, the line of sight drawing shall show the proposed equipment and its relation to the roof and parapet lines. (Satisfied)~~
- ~~39. That the owner shall submit for approval a detailed landscape and automatic irrigation plan pursuant to the Landscaping Guidelines of the City. Said landscape plan shall indicate the location and type of all plant materials to be used and shall include 2 to 3 foot high berms (as measured from the parking lot grade elevation), shrubs designed to fully screen the interior yard and parking areas from public view and 24" box trees along the street frontage. (Satisfied)~~
40. That the landscaped areas shall be provided with a suitable, fixed, permanent and automatically controlled method for watering and sprinkling of plants. This operating sprinkler system shall consist of an electrical time clock, control valves, and piped

water lines terminating in an appropriate number of sprinklers to insure proper watering periods and to provide water for all plants within the landscaped area. Sprinklers used to satisfy the requirements of this section shall be spaced to assure complete coverage of all landscaped areas. **(On-Going)**

41. That all activities shall occur inside the building(s). No portion of the required off-street parking and driveway areas shall be used for outdoor storage of any type or for special-event activities, unless prior written approval is obtained from the Director of Planning and Development, Director of Police Services and the Fire Marshall. **(On-Going)**
42. That all vehicles associated with the businesses on the subject property shall be parked on the subject site at all times. Off-site parking is not permitted and may result in the restriction or revocation of privileges granted under this Permit. In addition, any vehicles associated with the property shall not obstruct or impede any traffic. **(On-Going)**
- ~~43. That the electrical plans, which show the location of electrical transformer(s) shall be subject to the approval of the Planning Department. Transformers shall not be located within the front yard setback area. The location of the transformer(s) shall be subject to the prior approval of the Director of Planning and Development. The electrical transformer shall be screened with shrubs. Shrubs shall be planted 8 feet away from the doors and 18 inches away from the sides. **(Satisfied)**~~
44. That all fences, walls, gates and similar improvements for the proposed development shall be subject to the approval of the Fire Department and the Department of Planning and Development. **(On-Going)**
45. That the Department of Planning and Development shall first review and approve all sign proposals for the development. The sign proposal (plan) shall include a site plan, building elevation on which the sign will be located, size, style and color of the proposed sign. All drawings shall be properly dimensioned and drawn to scale on ~~24" x 36"~~ **11" x 17"** maximum-size paper. All signs shall be installed in accordance with the sign standards of the Zoning Ordinance and the Sign Guidelines of the City. **(Revised – On-Going)**
46. That a sufficient number of approved outdoor trash enclosures shall be provided for the development subject to the approval of the Director of Planning and Development. The calculation to determine the required storage area is: 1% of the first 20,000 sq ft of floor area + ½% of floor area exceeding 20,000 sq ft, but not less than 4 ½ feet in width nor than 6 feet in height. **(On-Going)**
47. That the owner shall not allow commercial vehicles, trucks and/or truck tractors to queue on Pike Street, use street as a staging area, or to backup onto the street from the subject property. **(On-Going)**

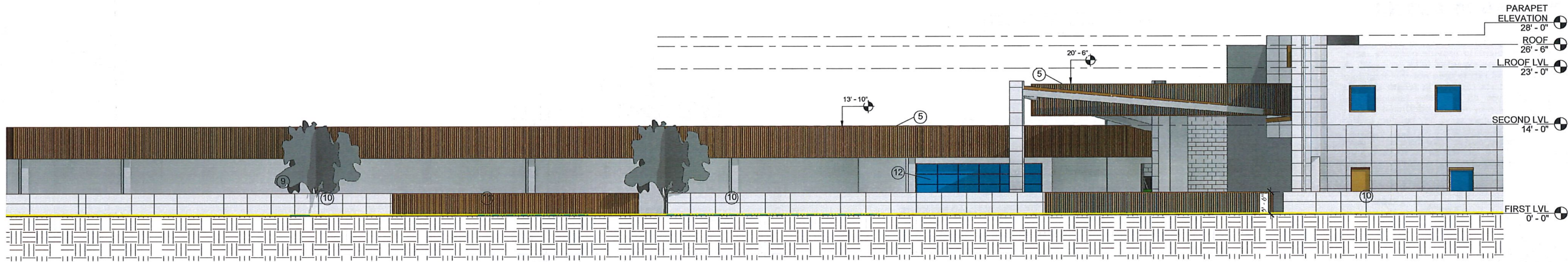
48. That the proposed building shall be constructed of quality material and any material shall be replaced when and if the material becomes deteriorated, warped, discolored or rusted. **(On-Going)**
49. ~~That approved suite numbers/letters or address numbers shall be placed on the proposed building in such a position as to be plainly visible and legible from the street fronting the property. Said numbers shall contrast with their background. The size recommendation shall be 12" minimum. **(Satisfied)**~~
50. That prior to issuance of building permits, the applicant shall comply with the following conditions to the satisfaction of the City of Santa Fe Springs:
- a. **Covenants.**
 - 1. Owner/developer shall provide a written covenant to the Planning Department that, except as may be revealed by the environmental remediation described above and except as applicant may have otherwise disclosed to the City, Commission, Planning Commission or their employees, in writing, applicant has investigated the environmental condition of the property and does not know, or have reasonable cause to believe, that (a) any crude oil, hazardous substances or hazardous wastes, as defined in state and federal law, have been released, as that term is defined in 42 U.S.C. Section 9601 (22), on, under or about the Property, or that (b) any material has been discharged on, under or about the Property that could affect the quality of ground or surface water on the Property within the meaning of the California Porter-Cologne Water Quality Act, as amended, Water Code Section 13000, et seq
 - 2. Owner/developer shall provide a written covenant to the City that, based on reasonable investigation and inquiry, to the best of owner/developer knowledge, it does not know or have reasonable cause to believe that it is in violation of any notification, remediation or other requirements of any federal, state or local agency having jurisdiction concerning the environmental conditions of the Property.
 - b. Owner/developer understands and agrees that it is the responsibility of the applicant to investigate and remedy, pursuant to applicable federal, state and local law, any and all contamination on or under any land or structure affected by this approval and issuance of related building permits. The City, Commission, Planning Commission or their employees, by this approval and by issuing related building permits, in no way warrants that said land or structures are free from contamination or health hazards.
 - c. Owner/developer understands and agrees that any representations, actions or approvals by the City, Commission,

Planning Commission or their employees do not indicate any representation that regulatory permits, approvals or requirements of any other federal, state or local agency have been obtained or satisfied by the applicant and, therefore, the City, Commission, Planning Commission or their employees do not release or waive any obligations the applicant may have to obtain all necessary regulatory permits and comply with all other federal, state or other local agency regulatory requirements. Applicant, not the City, Commission, Planning Commission or their employees will be responsible for any and all penalties, liabilities, response costs and expenses arising from any failure of the applicant to comply with such regulatory requirements. (New)

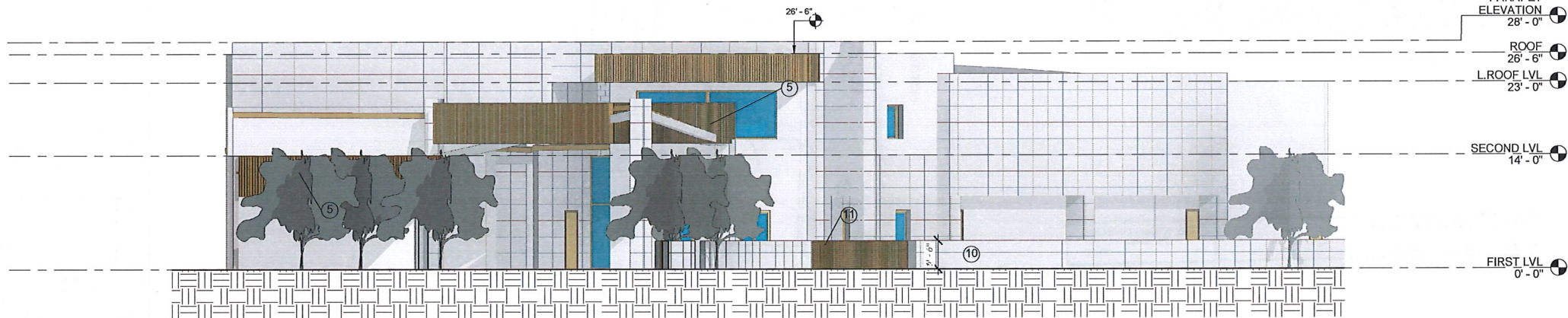
51. That pursuant to Section 35.095(4a and b) of the Municipal Code, all general contractors and sub-contractors, prior to the start of any work related to the subject project, shall obtain a business license from the City of Santa Fe Springs. A copy of the said business license certificate shall be submitted to the general contractor and maintained at the project site at all times. Contact the Finance Department, at (562) 868-0511, extension 7520, to obtain a business license application or one can be downloaded at www.santafesprings.org. (New)
52. That the owner/developer shall be responsible for reviewing and/or providing copies of the required conditions of approval to his/her architect, engineer, contractor, tenants, etc. Additionally, the conditions of approval contained herein, shall be made part of the construction drawings for the proposed development. *Construction drawings shall not be accepted for Plan Check without the conditions of approval incorporated into the construction drawings.* (New)
53. That the development shall otherwise be substantially in accordance with the plot plan, floor plan, and elevations submitted by the owner and on file with the case. (On-Going)
54. That the final plot plan, floor plan and elevations of the proposed development and all other appurtenant improvements, textures and color schemes shall be subject to the final approval of the Director of Planning and Development. (On-Going)
55. That all other requirements of the City's Zoning Ordinance, Building Code, Property Maintenance Ordinance, State and City Fire Code and all other applicable County, State and Federal regulations and codes shall be complied with. (On-Going)
56. That Development Plan Approval Case No. 847 shall not be valid until approved by the ~~Community Development~~ **Planning** Commission and shall be subject to any other conditions the ~~Community Development~~ **Planning** Commission may deem to impose. (Revised)

57. ~~That Development Plan Approval Case No. 847 and Modification Permit Case No. 1206 shall not be effective for any purpose until the owner/developer has filed with the City of Santa Fe Springs an affidavit stating he/she is aware of and accepts all of the required conditions of approval. (Satisfied)~~
58. That the applicant, ~~A Fine Touch of Wood~~ **True Design Cabinet Manufacturing**, agrees to defend, indemnify and hold harmless the City of Santa Fe Springs, its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul an approval of the City or any of its councils, commissions, committees or boards concerning Development Plan Approval Case No. 847, **Modification Permit Case No. 1316**, and Modification Permit Case No. ~~1206~~ **1320**, when action is brought within the time period provided for in the City's Zoning Ordinance, Section 155.865. Should the City, its agents, officers or employees receive notice of any such claim, action or proceeding, the City shall promptly notify the owner/developer of such claim, action or proceeding, and shall cooperate fully in the defense thereof. **(Revised)**
59. It is hereby declare to be the intent that if any provision of this approval is violated or held to be invalid, or if any law, statute or ordinance is violated, the approval shall be void and the privileges granted hereunder shall lapse. **(On-Going)**

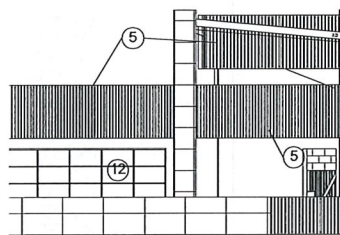
Attachment 5: Full Set of Proposed Plans



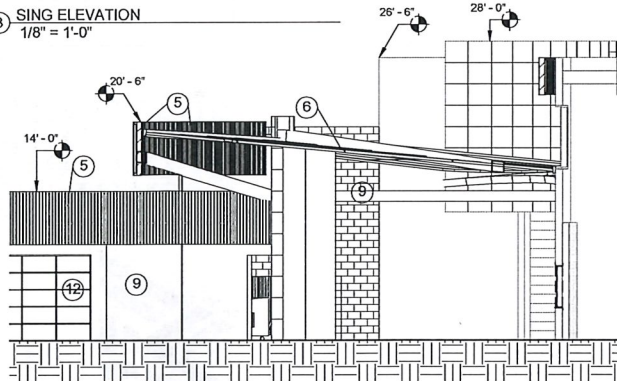
① PIKE STREET ELEVATION
1/8" = 1'-0"



② NORWALK BLVD ELEVATION
1/8" = 1'-0"

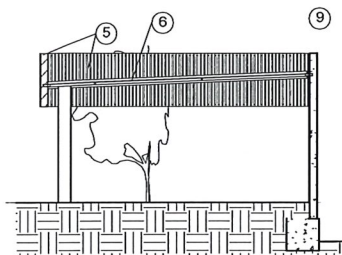


③ SING ELEVATION
1/8" = 1'-0"

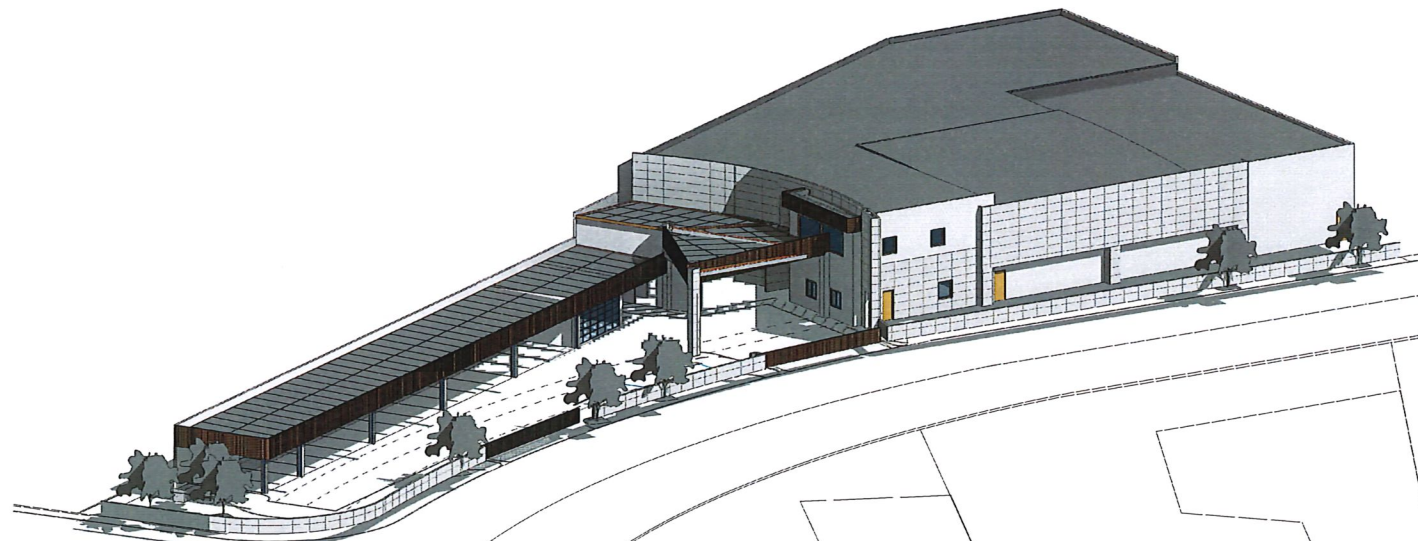


④ Section 1
1/8" = 1'-0"

Note Block	
Label	Comments
1	CANOPY @ 12' HIGHT
2	CANOPY @ 16' HIGHT
3	Parallel Parking Stall 10'X22'
4	EXISTING FRONT LANDSCAPING
5	1.25"X1.25" WOOD VETICAL TRALLISES STAINED (CHERRY)
6	ALUMINUM ROOF (LOW REFLECTANCE COLOR-DARK GRAY)
9	CMU WALL TO BE PAINTED IN LIGHT GRAY/WHITE TO MATCH EXSITING BUILDING MAIN COLOR
10	42" HIGH 8" CMU WALL PAINTED IN LIGHT GRAY AND SCORED WITH 1/2" CHANLES TO MATCH MINOR FACDE COLOR OF EXISTING BUILDING
11	42" HIGH AUTOMATED GATE
12	GLASS PANEL GARAGE DOOR
13	GRASS CRETE LANDSCAPING



⑤ Section 2
1/8" = 1'-0"



⑥ (3D)



MUSTAFA DAMI ARCHITECT
11/14/2019 1:58:45 PM

Project number	16101
Date	1/12/2019
Drawn by	Author
Checked by	Checker

No.	Description	Date

9427 NORWALK BLVD
SANTA FE SPRINGS, CA

ELEVATIONS AND SECTIONS

Scale 1/8" = 1'-0"

These documents are an instrument of professional services. The design ideas incorporated herein are the property of architects and are not to be used in whole, or in part for any other project without permission. These drawings have copyright protection as "Architectural Work" under USC, 102 of copyright act 17 USC, as amended December 1990. Protection includes without limitation: overall form, composition, arrangement and all design elements. Unauthorized use of these drawings and specifications may result in severe monetary penalties and seizure of property.

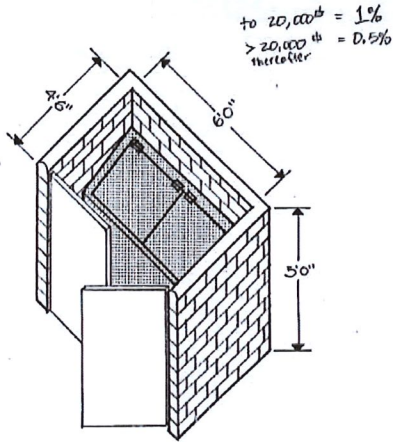


601 PINECREEK DR
SANTA ANA, CA 92705
www.mustafa-dami.com
TEL: 714.675.2611
FAX: 714.675.2614

A-1

TRASH ENCLOSURE DETAIL

All buildings and/or uses on property shall be provided with outdoor trash and refuse storage areas sufficient to provide adequate, safe, and efficient storage of waste and refuse expected to be produced. A minimum of one such outdoor trash and refuse area not less than four and one half (4½) feet in width and six (6) feet in length shall be provided for each building and/or use on property; however, the director of planning and development may require additional storage areas if determined necessary to adequately serve any building and/or use. All outdoor trash and refuse storage areas shall be screened from view on all sides by a solid fence, wall or structure a minimum of five (5) feet in height and shall be located so as to be readily accessible to users and collection personnel."



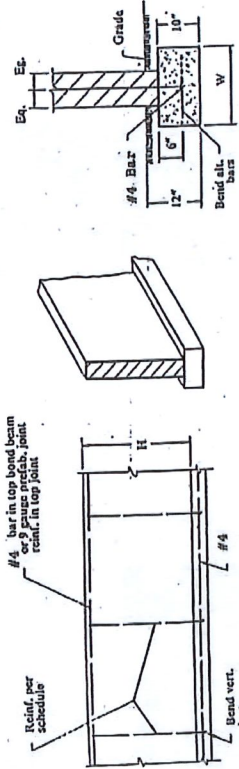
DEPARTMENT OF BUILDING & SAFETY CITY OF SANTA FE SPRINGS	City of Santa Fe Springs Standards D-87 Date: 11-17-87
---	---

REINFORCED CONCRETE BLOCK WALL

- NOTES:
1. USE STANDARD 6 INCH WIDE CONCRETE BLOCK.
 2. USE CONCRETE CHANNEL BLOCK WHERE HORIZONTAL STEEL IS CALLED FOR.
 3. CONCRETE SHALL BE 1:2½:3½ MACHINE MIX WITH MAXIMUM OF 7½ GALLONS WATER PER SACK OF CEMENT.
 4. REINFORCING STEEL SHALL BE STRUCTURAL GRADE $f_y=20,000$ P.S.I.
 5. REINFORCING STEEL BARS SHALL LAP 40 BAR DIAMETERS.
 6. ALL BLOCKS SHALL BE LAID UP IN MORTAR WITH FULL HEAD AND BED JOINTS. WEBS OF EACH COURSE SHALL CENTER ON WEBS OF COURSES BELOW.
 7. ALL CELLS IN WHICH STEEL IS PLACED SHALL BE FILLED WITH GROUT.
 8. MORTAR SHALL BE 1-PART CEMENT, 3½ PARTS SAND (¼ PART LIME, OPTIONAL).
 9. POUR FOOTING AGAINST UNDISTURBED NATURAL SOIL OR SOIL THAT HAS BEEN COMPACTED TO 90% OPTIMUM DENSITY PER A.A.S.H.O. T99-49.
 10. THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE SANTA FE SPRINGS DEPARTMENT OF BUILDING AND SAFETY PRIOR TO CONSTRUCTION. AFTER THE STEEL IS IN PLACE AND 24 HOURS PRIOR TO POURING CONCRETE FOR THE FOOTING, THE CONTRACTOR SHALL CALL THE DEPARTMENT OF BUILDING AND SAFETY FOR INSPECTION. PRIOR TO GROUTING THE WALL CELLS, THE CONTRACTOR SHALL AGAIN CALL THE DEPARTMENT OF BUILDING AND SAFETY FOR INSPECTION. FINAL INSPECTION SHALL BE CALLED FOR UPON COMPLETION OF THE WALL.

3.1.6.3 Fence Design — 6" Block

NOT TO BE USED FOR RETAINING EARTH
Fence with Continuous Footing



H Ft.	Reinforcing Steel Schedule		Footing Width — W	
	Lateral Load — psf		Lateral Load — psf	
2, 3, 4, 5, 6	15	#4 @ 48"	15	#4 @ 48"
		#4 @ 36"		#4 @ 36"

These documents are an instrument of professional services. The design ideas incorporated herein are the property of architect and are not to be used in whole, or in part, for any other project without written consent of the architect. These drawings have been prepared by the architect and are not to be used for any other project without written consent of the architect. These drawings are not to be used for any other project without written consent of the architect. These drawings are not to be used for any other project without written consent of the architect.



601 WILSON BLVD
SANTA ANA, CA 92705
TEL: 714/972-2411
FAX: 714/972-2411

A-2

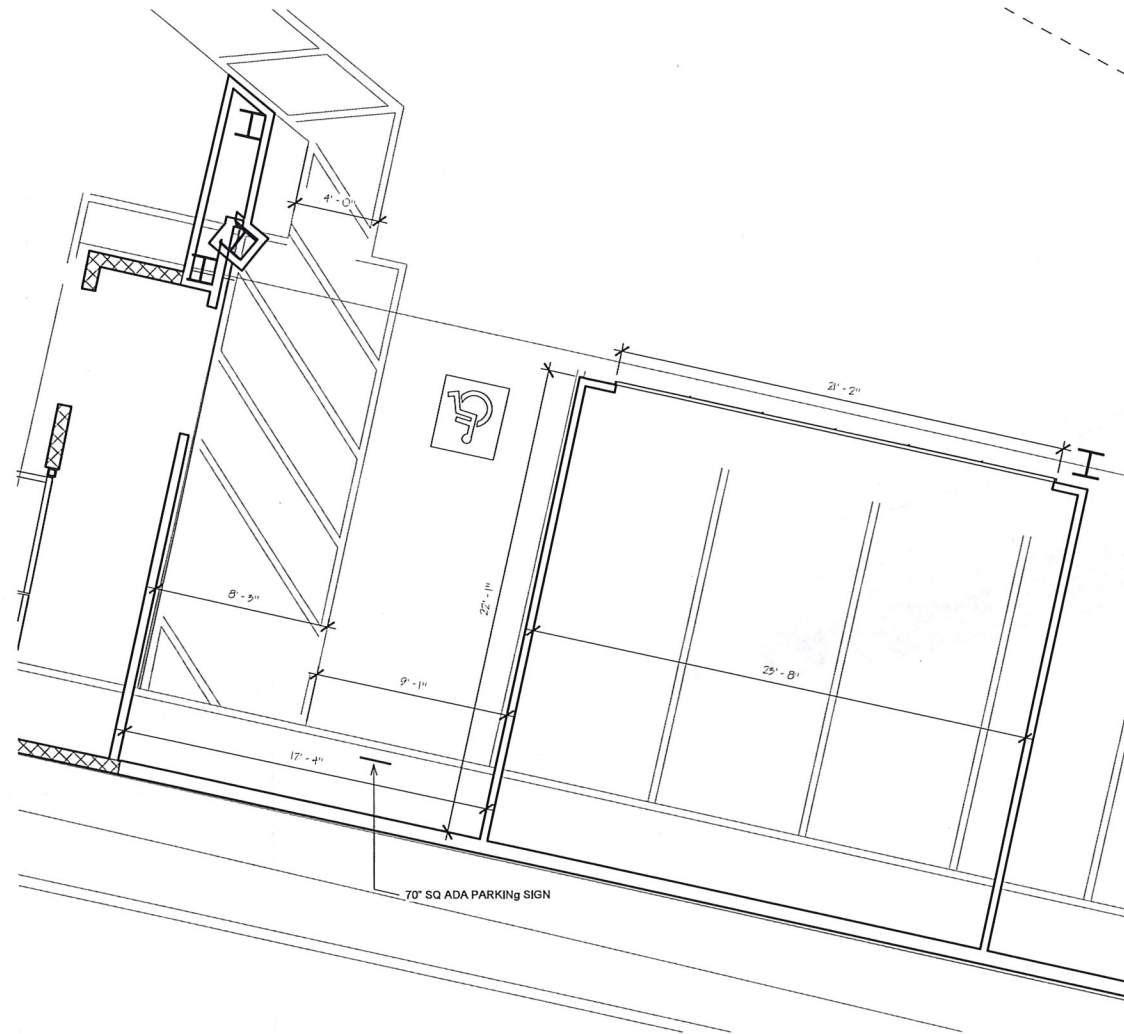
9427 NORWALK BLVD
SANTA FE SPRINGS, CA

TRASH ENCLOSURE CITY
REQUIREMENT

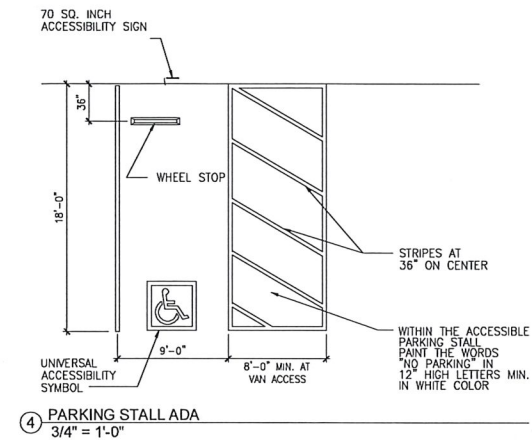


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ACCESSIBILITY REQUIREMENTS



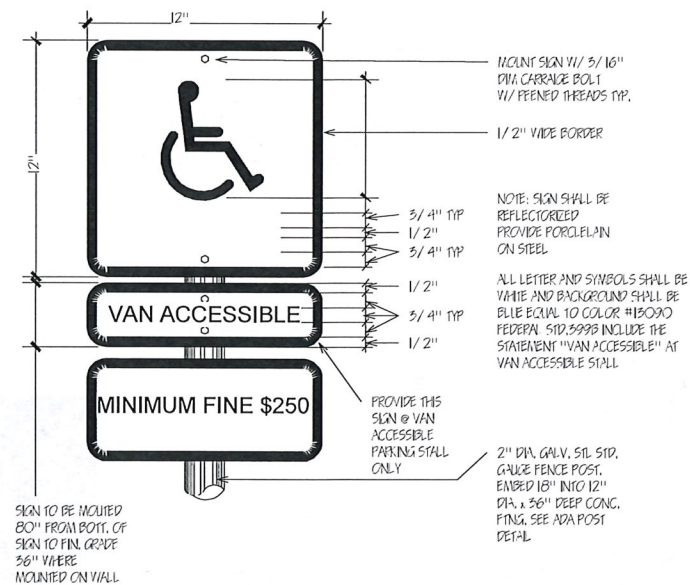
① ADA PARKING PLAN
1/4" = 1'-0"



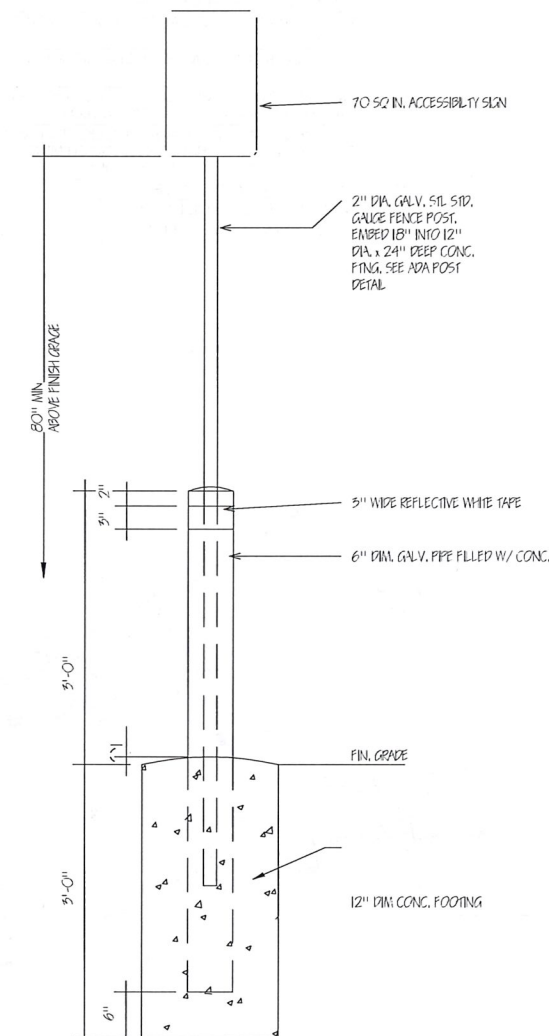
PROVIDE ACCESSIBLE SYMBOL. 1117B.51.



⑥ ADA SIGNS
N.T.S.



MIN FINE UPGRADE @ EXISTING ADJ.
 ③ H.C. PARKING
 N.T.S.



② ADA SIGN POST
12" = 1'-0"



MUSTAFA BDAWI ARCHITECT
11/14/2019 1:58:52 PM

9427 NORWALK BLVD SANTA FE SPRINGS, CA	ADA GENERAL NOTES	Scale	As indicated
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FAX: 714.673.0614

A-3

A map of the Los Nietos area in California. The map shows several streets including Highway 90, Highway 67, and various local roads like Camino Viejo, Camino Nuevo, and Camino Viejo. A red dot marks the proposed station location at the intersection of Highway 90 and Highway 67. The map also shows the locations of Los Nietos Park, Los Nietos Elementary School, and Los Nietos High School. The map is titled "Los Nietos Station Location Map" and includes a scale bar indicating distances from 0 to 1 mile.

Courtesy of Los Angeles, Bureau of Land Management, ERI, HERE, Google, INCREMENT P, iStocktop, USGS, METRUSIA, EPA, USDA

County of Los Angeles, Bureau of Land Management, Fox, HERR, GORDON, SACRED/TF, HERRING, HOGG, MATHIASA, EPA, USDA

① Site
 $1/32'' = 1'-0''$

601 PARCENTER DR
SUITE # 204
SANTA ANA, CA 92705
www.earthdancer.com
TEL. 714.973.2611
FAX 714.973.2611

五



City of Santa Fe Springs

Planning Commission Meeting

January 13, 2020

NEW BUSINESS

Adoption of Mitigated Negative Declaration

Tentative Parcel Map (TPM) No. 82709

Specific Plan Amendment (SPA) Case No. 1

Development Plan Approval (DPA) Case No. 964

TPM No. 82709 A request for approval to consolidate seven (7) existing parcels into a single parcel, measuring ± 25.33 -acres (APN: 8167-002-025, 026, 030, 050, 051, 052, and 053)

Specific Plan Amendment Case No. 1: A request for approval to amend the WDI Specific Plan to allow for large truck access to the project site along Los Nietos Road; allow for direct line of sight to the adjacent school property; and prohibited separate leases for the open yard area.

DPA Case No. 964: A request for approval to construct a new 216,500 square foot industrial building located at 9883 Greenleaf Avenue, which comprised of seven (7) existing parcels, measuring ± 25.33 -acres (APN: 8167-002-025, 026, 030, 050, 051, 052, and 053).

RECOMMENDATION

- Continue Tentative Parcel Map (TPM) No. 82709; Specific Plan Amendment Case (SPA) No. 1; and Development Plan Approval (DPA) Case No. 964 to the Planning Commission meeting of February 11, 2020.

Property owners within 500 feet of the subject property were notified via mail that the requested entitlement were going before the Planning Commission for consideration. Since neighbors received notification, it is recommended that if any members of the public attend the meeting and wish to comment, the Planning Commission should receive public comments, and then take action to continue the project to the next meeting date on February 12, 2020. The continuance will provide additional time for the staff to review the proposed Draft Mitigated Negative Declaration.

A handwritten signature in blue ink that reads "Wayne M. Morrell".

Wayne M. Morrell
Director of Planning



NEW BUSINESS – Continued from the December 9, 2019 Planning Commission Meeting

Categorically Exempt – CEQA Guideline Section 15303, Class 3

Modification Permit Case No. 1323

A request for a Modification of Property Development Standards to allow a porte cochere to be located within the required side yard setback area, on a property located at 10413 Gridley Avenue (APN: 8007-024-035), in the R-1, Single-Family Residential, Zone. (Jose Cardenas)

RECOMMENDATIONS

- Find that the proposed project, if conducted in strict compliance with the conditions of approval, will be harmonious with adjoining properties and surrounding uses in the area and will be in conformance with the overall purposes and objectives of the Zoning Regulations and consistent with the goals, policies and programs of the City's General Plan; and
- Find that the applicant's Modification Permit request meets the criteria set forth in Section 155.694 of the City's Zoning Regulations for the granting of a Modification; and
- Find and determine that pursuant to Section 15303, Class 3 (New Construction or Conversion of Small Structures), of the California Environmental Quality Act (CEQA), this project is considered to be Categorically Exempt; and
- Approve Modification Permit Case No. 1323, subject to the conditions of approval as contained within Resolution No. 147-2019; and
- Adopt Resolution No. 147-2019, which incorporates the Planning Commission's findings and actions regarding this matter.

GENERAL INFORMATION

- | | |
|----------------------|---|
| A. Applicant: | Jose Cardenas
10413 Gridley Avenue
Santa Fe Springs, CA 90670 |
| B. Property Owner: | Jose Cardenas
10413 Gridley Avenue
Santa Fe Springs, CA 90670 |
| C. Subject Property: | 10413 Gridley Avenue
Santa Fe Springs, CA 90670 |
| D. Existing Zone: | R-1 (Single-Family Residential) |

- E. General Plan: Single-Family Residential
- F. CEQA Recommendation: Categorically Exempt
Section 15303, Class 3
- G. Hearing Date: January 13, 2020
- H. Staff Contact: Jimmy Wong, Planning Consultant
Jimmywong@santafesprings.org
Phone: (562)-868-0511 Ext 7451

LOCATION & BACKGROUND

Modification Permit Case No. 1323 was originally scheduled to be heard at the December 9, 2019 Planning Commission meeting. Staff requested a continuance to the January 13, 2020 meeting to allow for additional time to review the proposed Modification Permit request.

The subject site is located at 10413 Gridley Avenue (APN: 8007-024-035). It is developed with a 1,439 sq. ft. single-family home. The property was originally constructed in 1951. The applicant, Jose Cardenas, is the owner of the property and currently resides at the subject property.

ZONING AND LAND USE

The subject property is zoned R-1, Single-Family Residential, with a General Plan land use designation of Single Family Residential. The adjacent properties to the east, south, west, and north are also zoned R-1, Single-Family Residential, with a General Plan land use designation of Single Family Residential.

STREETS AND HIGHWAYS

The subject site has frontage on Gridley Avenue, which is designated as a local street within the Circulation Element of the City's General Plan.

DESCRIPTION OF REQUEST

The applicant, Jose Cardenas, is requesting to allow a 336 sq. ft. (12' x 28') porte cochere to encroach within the required southerly side setback area.

ZONING REGULATION REQUIREMENTS

§ 155.069 SIDE YARD.

- (A) Each lot shall have a side yard on each side of not less than five feet.

According to the proposed site plan, the applicant is proposing to construct a new attached porte cochere along the driveway area. As proposed, the porte cochere will only provide a one (1) foot side yard setback from the southern property line. As a result, the subject property will not meet the minimum side yard setback requirement for a single-family dwelling. It should be noted that the proposed porte cochere is required to obtain all necessary Building Permits prior to the construction of the structure.

ENVIRONMENTAL DOCUMENTS

Upon review of the proposed project, staff has decided that the project is categorically exempt pursuant to Section 15303, Class 3 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA), in that it consists of construction and location of a new, small structure. Therefore, no additional environmental analysis is necessary to meet the requirements of CEQA. If the Planning Commission agrees, staff will file a Notice of Exemption (NOE) with the Los Angeles County Clerk within 5 days of Planning Commission approval.

NOTICE TO ADJACENT PROPERTY OWNERS

As with similar Modification requests, staff mailed a meeting notice to the adjacent property owners to the northeast, northwest, east, and west of the subject property advising them of the Modification Permit request. The notice advised neighboring property owners of the date and time that the request would be considered by the Planning Commission. A total of 4 notices were mailed out to said property owners on November 27, 2019. To date, staff has not received correspondence from the surrounding property owners that received the notice.

STAFF CONSIDERATIONS

Based on the reasons and findings set forth within Resolution No. 147-2019, staff finds that approval of Modification Permit Case No. 1323 will not be detrimental to the property of others or to the community as a whole. Staff is, therefore, recommending approval of the subject Modification Permit request, subject to the conditions of approval as provided within Exhibit A of Resolution No. 147-2019.



Wayne M. Morrell
Director of Planning

Attachments:

1. Aerial Photograph
2. Site Plan
3. Notice to Adjacent Properties
4. Resolution No. 147-2019
 - a. Exhibit A- Condition of Approval

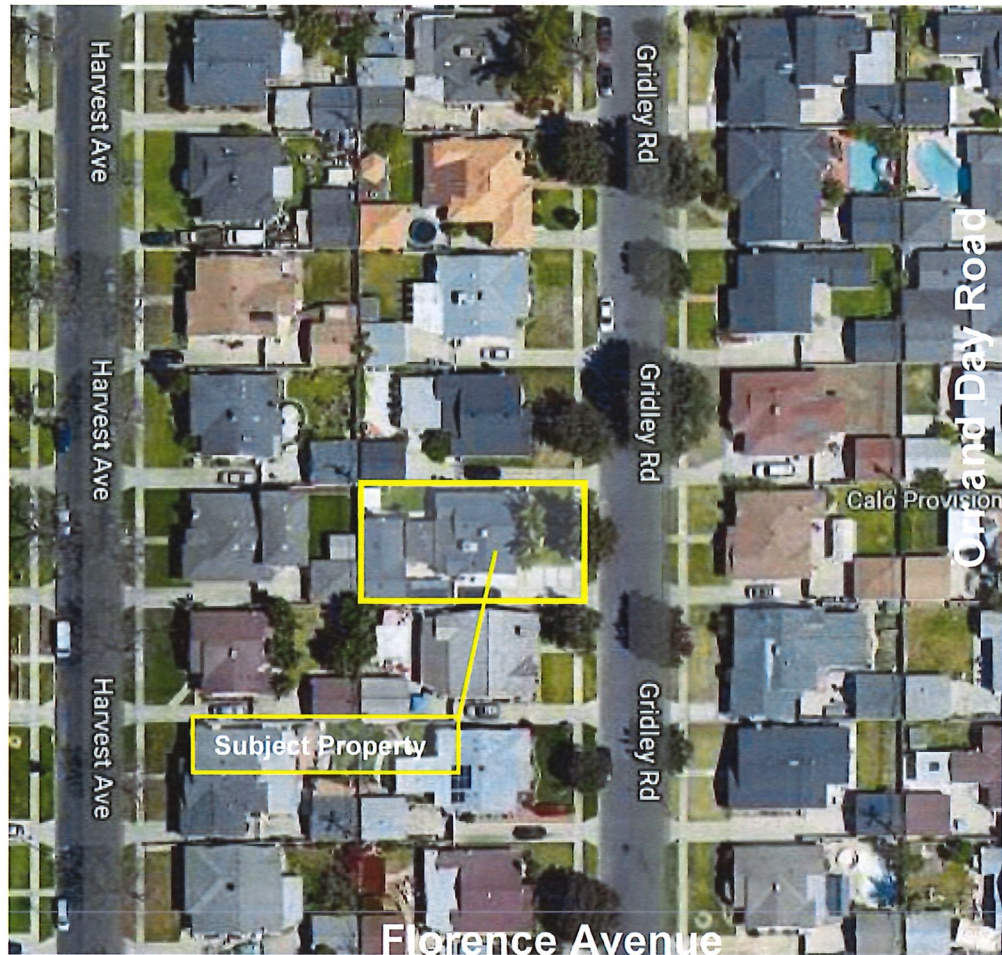


City of Santa Fe Springs

Planning Commission Meeting

January 13, 2020

Attachment 1: Aerial Photograph



**Modification Permit Case No. 1323
10413 Gridley Avenue**



Report Submitted By: Jimmy Wong
Planning and Development Department

Date of Report: December 19, 2019

ITEM NO. 11

**Attachment 2:
Site Plan**

10413 Gridley Road

PL

Existing Garage

Existing Room
enclosed

15'-6"

15'-6"

Proposed
Porte Cochere
(336 sq ft)

82

1 hour firewall with
no overhang

12'

EXIST.
DINING ROOM

EXIST.
KITCHEN

EXIST.
FAMILY ROOM

EXIST.
HALLWAY

EXIST.
BEDROOM

EXIST. BATH

EXIST.
LIVING ROOM

EXIST.
BEDROOM

26

5

30'

22

55

PL

Attachment 3: Notice to Adjacent Property



CITY OF SANTA FE SPRINGS NOTICE TO ADJACENT PROPERTY OWNERS

NOTICE IS HEREBY GIVEN that the Santa Fe Springs Planning Commission will conduct a public hearing at a regular meeting on **Monday, December 09, 2019 at 6:00 p.m.** in the Council Chambers of City Hall located at 11710 Telegraph Road on the following matter:

Modification Permit Case No. 1323: A request for a Modification of Property Development Standards to allow for a porte cochere to be located within the required side setback area.

Applicant: Jose Cardenas

Property located at: 10413 Gridley Ave., Santa Fe Springs, CA 90606 in the R-1, Single-Family Residential, zone.

CEQA Status: The project is categorically exempt pursuant to Section 15303, Class 3 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA). The project site is not listed on the Hazardous Waste and Substance Site List (Cortese List) as set forth in Government Code Section 65962.5.

All interested persons are invited to attend the above Public Hearing. If you challenge the above mentioned item and related actions in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this notice, or in written correspondence delivered to the City of Santa Fe Springs Department of Planning & Development at, or prior to the Public Hearing. Any person interested in this matter may contact Jimmy Wong at 562-868-0511, Ext. 7451 or Jimmywong@santafesprings.org.

Juanita Trujillo, Mayor • William K. Rounds, Mayor Pro Tem
City Council
John M. Mora • Annette Rodriguez • Joe Angel Zamora
City Manager
Raymond R. Cruz

**Attachment 4:
Resolution No. 147-2019**

CITY OF SANTA FE SPRINGS
RESOLUTION NO. 147-2019

**A RESOLUTION OF THE PLANNING COMMISSION OF
THE CITY OF SANTA FE SPRINGS REGARDING
MODIFICATION PERMIT CASE NO. 1323**

WHEREAS, a request was filed for Modification Permit Case No. 1323 to allow for the construction of a porte cochere to be located within the required southerly side setback area within the City's Zoning Regulations; and

WHEREAS, the subject property is located at 10413 Gridley Avenue with Accessor's Parcel Number 8007-024-035, as shown in the latest rolls of the Los Angeles County Office of the Assessor; and

WHEREAS, the property owner is Jose Cardenas, 10413 Gridley Avenue, Santa Fe Springs, CA 90670; and

WHEREAS, the proposed Modification Permit is considered a project as defined by the California Environmental Quality Act (CEQA), Article 20, Section 15378(2); and

WHEREAS, based on the information received from the applicant and staff's assessment, the Planning Commission found and determined that the proposed project meets the criteria for a Categorical Exemption, pursuant to California Environmental Quality Act (CEQA), Section 15303, Class 3 (New Construction or Conversion of Small Structures); and

WHEREAS, the City of Santa Fe Springs Planning and Development Department on November 27, 2019 mailed out a courtesy notice to the adjacent property owners (northeast, northwest, east and west) to advise them of the Modification Permit request and of the date and time when this matter would be considered by the Planning Commission; and

WHEREAS, the City of Santa Fe Springs Planning Commission has considered the application materials, the written and oral staff report, the General Plan and zoning of the subject property, any written comments received by staff, as well as any other testimony or materials presented at the Planning Commission Meeting on January 13, 2020 concerning Modification Permit Case No. 1323.

NOW, THEREFORE, be it RESOLVED that the PLANNING COMMISSION of the CITY OF SANTA FE SPRINGS does hereby RESOLVE, DETERMINE and ORDER AS FOLLOWS:

SECTION I. ENVIRONMENTAL FINDINGS AND DETERMINATION

Pursuant to Section 15303, Class 3 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA), the Planning Commission

hereby finds and determines that the project is categorically exempt, in that it involves the construction of a 336 square foot porte cochere. There are no other improvements related to this request. Therefore, it has been determined that additional environmental analysis is not necessary to meet the requirements of CEQA.

SECTION II. MODIFICATION PERMIT APPROVAL FINDINGS

Pursuant to Section 155.694 of the City of Santa Fe Springs Zoning Regulations, the Planning Commission shall consider the following findings in their review and determination of the subject Modification Permit. Based on the available information, the City of Santa Fe Springs Planning Commission hereby make the following findings:

- (1) *That the modification is needed to allow the property to be utilized in a more beneficial manner.*

The proposed porte cochere will provide the elderly owner with protection from both sun and/or rain. The proposed structure will allow the owner to park his car closer to the entrance of the dwelling and create a shorter and safer path of travel. It should be noted that a porte cochere is primarily use for protection and convenience of loading and unloading passengers or materials. A porte cochere does not satisfy the requirement for off-street parking.

- (2) *That the modification, if granted, would not be detrimental to the public welfare or to the property of others in the area.*

Although the proposed porte cochere will reduce the existing side yard setback, the function of the driveway will not be affected by the proposed porte cochere. The only difference is that the driveway area will be covered as opposed to uncovered. It should also be noted that the proposed porte cochere will be architecturally compatible with the existing dwelling.

Moreover, as with similar requests, staff mailed a letter to the property owners immediately adjacent to the subject property to advise them of the Modification Permit request. To date, Staff has not received any replies objecting to the proposed Modification Permit request. Additionally, similar modification permits were granted to other residents to allow for the encroachment of a porte cochere within the side setback area.

Table 1
Similar Approved Modification Permit

Modification Permit	Address	Requests
MOD 994	10368 Gridley Road	To allow encroachment into side yard setback to allow construction of a porte cochere.
MOD 1023	10108 Longworth Avenue	To allow encroachment into side yard setback to allow construction of a porte cochere.

MOD 1226	11619 Roma Street	To allow encroachment into side yard setback to allow construction of a porte cochere.
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The Planning Commission, therefore, finds that the proposed porte cochere will not be detrimental to the public welfare or to the property of others in the area.

SECTION III. PLANNING COMMISSION ACTION

The Planning Commission hereby adopts Resolution No. 147-2019 to approve Modification Case No. 1323 to allow for the construction of a porte cochere to be located within the required southern side yard setback area for the subject property located at 10413 Gridley Avenue (APN: 8007-024-035), subject to conditions attached hereto as Exhibit A.

ADOPTED and APPROVED this 13th day of JANUARY, 2020 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE SPRINGS.

Frank Ybarra, Chairperson

ATTEST:

Teresa Cavallo, Planning Secretary

Exhibit A
Modification Permit (MOD) Case No. 1323
10413 Gridley Avenue (APN: 8007-024-035)

PLANNING AND DEVELOPMENT DEPARTMENT:
(Contact: Jimmy Wong 562.868-0511 x7451)

1. The proposed porte cochere must be architecturally compatible with the existing dwelling, subject to the Planning Department approval.
2. The applicant shall obtain all necessary Building Permits and approvals from the Building Division and Planning Department.
3. All other applicable requirements of the City's Zoning Regulation, Property Maintenance Ordinance, Los Angeles County Building Code, Fire Code and all other applicable regulations shall be complied with.
4. The applicant, Jose Cardenas, agrees to defend, indemnify and hold harmless the City of Santa Fe Springs, its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul an approval of the City or any of its councils, commissions, committees or boards arising from or in any way related to the subject Modification Permit, or any actions or operations conducted pursuant thereto. Should the City, its agents, officers or employees receive notice of any such claim, action or proceeding, the City shall promptly notify the owner/developer of such claim, action or proceeding, and shall cooperate fully in the defense thereof.
5. It is hereby declared to be the intent that if any provision of this Approval is violated or held to be invalid, or if any law, statute or ordinance is violated, this Approval shall be void and the privileges granted hereunder shall lapse.



City of Santa Fe Springs

Planning Commission Meeting

January 13, 2020

CONSENT ITEM

Conditional Use Permit Case No. 614-3

A compliance review to allow the continued maintenance and operation of a bleach production and chlorine repackaging facility at 11600 Pike Street (APN: 8002-013-013) within the M-2, Heavy Manufacturing, Zone. (Olin Chlor Alkali Products)

RECOMMENDATIONS

- Find that the continued operation and maintenance of a bleach production and chlorine repackaging facility, if conducted in strict compliance with the conditions of approval, will be harmonious with adjoining properties and surrounding uses in the area and will be in conformance with the overall purposes and objectives of the Zoning Ordinance and consistent with the goals, policies, and programs of the City's General Plan.
- Require that Conditional Use Permit Case No. 614-3 be subject to a compliance review in four (4) years, on or before January 13, 2024, to ensure the use is still operating in strict compliance with the conditions of approval as contained within this staff report.

BACKGROUND

In accordance with Section 155.243(A)(5) and 155.243(A)(30) of City's Zoning Ordinance, the manufacturing of bleaching powder and sodium hypochlorite (bleach) requires approval of a Conditional Use Permit prior to commencement of such activities. In April of 2003, the Planning Commission initially approved Conditional Use Permit (CUP) Case No. 614, a request by Pioneer Americas LLC, to establish, operate and maintain a bleach production and chlorine repackaging plant on property located at 11600 Pike Street. It should be noted that the original applicant, Pioneer America's LLC, is currently doing business as Olin Chlor Alkali Products. Olin Chlor Alkali is leasing said property from property owner Bill Sossomon. The use was subsequently reconsidered by the Planning Commission at its February 11, 2014 meeting. Olin Chlor Alkali Products' current lease expires November 2023. Olin intend to renew the lease and either retrofit the current warehouse building and/or redevelop the site with an entirely new building.

STAFF CONSIDERATIONS

As is standard practice for all CUP compliance reviews, an inspection of the subject property was performed by City staff to ensure continued compliance with the conditions of approval prior to bringing the matter back to the Planning Commission. Following the initial walk-through inspection by the Planning Department on July 2, 2019, the applicant was directed to comply with the following:

Report Submitted By: Claudia Jimenez

Planning and Development Department

Date of Report: December 16, 2019

ITEM NO. 12A

- Remove the stationed vehicles found within the warehouse
- Update their site plan to reflect new restriped areas to meet parking requirements

It should be noted that the site currently has two (2) office trailers housed inside the warehouse building. These office trailers will eventually be removed after Olin Chlor Alkali Products extends their lease and redevelops or retrofits the warehouse building. During construction, but not later than January 13, 2024, the office trailers will be subject to an office trailer permit. Staff has continued to work with the applicant on the required items identified above. A recent follow-up inspection has confirmed that the applicant has now completed all aforementioned items; consequently, the applicant is now in full compliance with the existing conditions of approval. Staff, therefore, finds that if the bleach production and chlorine repackaging plant continues to operate in strict compliance with the required conditions of approval, the use will continue to be compatible with the surrounding developments and will not pose a nuisance risk to the public and/or environment. Staff is, therefore, recommending that CUP 614-3 be subject to a compliance review in four (4) years to ensure the use is still operating in compliance with the conditions of approval as contained in this staff report.

CONDITIONS OF APPROVAL

NOTE: Changes to existing conditions are provided as a strike-through or bold.

FIRE DEPARTMENT –FIRE PREVENTION DIVISION:

(Contact: Raul Diaz 562.868.0511 x 3710)

1. The applicant shall install manual and automatic fire suppression systems for structures that provide coverage for all tank cars that contain Class I flammable or Class II combustible liquids, flammable gases, toxic or highly-toxic liquids or gases, extremely-hazardous substances as defined by 40 CFR, Part 355, Appendix A and any other chemicals deemed hazardous by the City of Santa Fe Springs Fire Department that are plumbed for off-loading and/or filling. Areas that are covered by weather protection structures used for processing the above-listed chemicals shall also be provided with an approved fire suppression system. In certain instances, manually-activated monitor nozzles connected to the underground water supply may be provided in lieu of an automatic fire suppression system for rail siding protection. An adequate number of nozzles shall be provided such that all tank cars that are connected for the unloading shall be protected. Nozzles shall be capable of remote activation from a safe location. Automatic fire protection for the tank cars is not required provided that tank cars are not loaded on-site and that unloading is only conducted from the top of the tank car using suction methods. The chlorine unloading operation at Olin Chlor Alkali Products shall be exempted from this requirement provided the unloading is

- performed within the railcar containment barn. **(Ongoing)**
2. That the applicant shall not load or unload liquid tank cars through pressurizing the car, pumping the liquid under pressure or using the bottom connection unless manual shut-off valves and secondary containment are provided. **(Ongoing)**
 3. That the applicant shall provide and maintain secondary containment for all in-use tank cars (railcars), piping, pumps and related storage and use vessels. Containment shall be provided for all hazardous and industrial grade liquids. Fire suppression water and foam runoff shall also be contained. Piping utilized for unloading tank cars and extending beyond the limits of areas provided with secondary containment or drainage shall be provided with liquid receptors that will capture leakage and re-route to an area provided with secondary containment or drainage. For top unloaded tank cars, flexible connections used to connect to tank cars shall be mounted at a level above fixed piping and above the top of tank cars so that if a leak in such a connection occurs, liquid will drain from the connecting line into the tank car upon loss of suction. Drainage shall be to an approved location. **(Ongoing)**
 4. That the Applicant shall ensure that any connections for rail car chlorine transfer are made in an exhausted enclosure that is connected to an emergency scrubber engineered to handle a credible release of the entire contents of the railcar. Change out of scrubbing solution may be considered in system sizing. **(Ongoing)**
 5. That tank vehicles shall be loaded and unloaded only in approved locations. **(Ongoing)**
 6. That the Applicant shall provide secondary containment for all in-use tanks, drums, tote bins, piping, pumps and related storage and in-use vessels. Containment shall be provided for all hazardous and industrial-grade liquids. Fire suppression water and foam runoff shall also be contained. Drainage shall be to an approved location. **(Ongoing)**
 7. That the Applicant shall complete a Spill Prevention Control and Countermeasure (SPCC) Plan within 6 months of facility operation if the quantity of petroleum containing products in above-ground tanks on site exceeds 1,320 gallons. **(Ongoing)**
 8. That the Applicant shall obtain approved plans for any Underground Storage Tank installation prior to tanks being brought on-site. **(Ongoing)**
 9. That the Applicant shall provide high-level alarms and automatic shut-off devices on all tanks that exceed 500 gallons. Alarms shall sound at 90 percent capacity, and shut-off devices shall initiate at 95 percent tank capacity. **(Ongoing)**

10. ~~That all tanks shall be seismically anchored in accordance with the Uniform Building Code.~~ **(No longer applicable)**
11. That the Applicant shall design a gas detection system that includes a fence-line monitoring system and gas sensors in critical operational areas which will provide early detection of gas releases. The system shall include sensors for sulfur dioxide and chlorine. The location of the sensors shall be approved by the Fire Chief. The sensors shall be connected to an approved central alarm monitoring station. **(Ongoing)**
12. That the Applicant shall provide an in-house emergency response system that includes the following:
- a. Visual and audible alarms connected to fire detection, hazardous gas detection, leak detection, liquid level limit detection, seismic event detection, fire protection systems and to manual emergency stations.
 - b. Liquid level limit alarms on stationary tanks.
 - c. Automatic shut-off valves on stationary tanks.
 - d. Back up electrical power for emergency alarm systems and required safety systems with a duration in accordance with NFPA 70, Section 701-11.
 - e. Adequately-trained manpower and equipment. Minimum training requirements include:
 - i. Hazmat Operational training for all plant operations personnel.
 - ii. Hazmat Awareness training for all staff.
 - iii. One Hazmat Technician trained person per shift.
 - f. A chlorine sensor at the outlet of the chlorine scrubber system and at other approved locations.
 - g. Remote cameras at approved locations.
 - h. A U.L. Listed central station shall monitor all alarms. Gas detection sensors shall have a minimum of two set points. Initial alarms shall be internal to Olin Chlor Alkali Products and secondary alarms shall be to the Central Station. Sensor alarms set points shall be approved by the Fire Department. **(Ongoing)**
13. That the Applicant installs and maintains windsocks and placards as required. **(Ongoing)**
14. That the Applicant shall submit an industrial wastewater discharge permit; said permit shall include plans showing all proposed modifications to the wastewater pretreatment system. **(Ongoing)**
15. That within three (3) months after the full installation of the Industrial Waste system, a copy of the Storm Water Pollution Prevention Plan (SWPPP) shall be submitted to the Fire Department for review. **(Ongoing)**

16. That the Applicant shall obtain permits for any current and/or future proposed facility modifications and for the storage and use of materials that have physical and/or health hazards as defined in the Uniform Fire Code. All storage and use of hazardous chemicals shall meet the requirements of the current Uniform Fire and Uniform Building Codes. **(Ongoing)**
17. That the Applicant shall comply with the City's Soil Cleanup Guide for areas with known soil contamination. **(Ongoing)**
18. That the Applicant shall ensure that all drums of hazardous materials that are stored in excess of 6 feet in height shall be secured together and to the pallet on which they are stored. **(Ongoing)**
19. That the Applicant label piping conveying hazardous materials noting their contents and direction of flow. **(Ongoing)**
20. That the Applicant shall comply with all Federal, State and local requirements and regulations including, but not limited to, the Santa Fe Springs City Municipal Code, Uniform Building Code, Uniform Fire Code, Certified Unified Program Agency (CUPA) programs and all other applicable codes and regulations. **(Ongoing)**

FIRE DEPARTMENT- ENVIRONMENTAL DIVISION:

(Contact: Tom Hall 562.868.0511 x 3715)

21. That the storage (up to 10 days) of RCRA and non-RCRA Hazardous Waste shall be stored in an area with secondary containment of remain in the truck. All hazardous waste stored shall be in compliance with the latest adopted edition of the Uniform Fire Code. **(Ongoing)**
22. That no hazardous waste shall be transferred or consolidated into different containers. **(Ongoing)**
23. That there shall be no storage of any hazard of any hazardous waste outside the designated storage-areas as shown on the site plan and on file with this permit. **(Ongoing)**
24. That a copy of the current State hazardous waste transporter insurance poly shall be provide to the Fire Department. **(Ongoing)**
25. That an inventory of all hazardous waste in transportation shall be updated daily and made available immediately upon request. **(Ongoing)**

26. That the applicant shall conduct daily inspection of containers of hazardous waste stored on-site and maintain an inspection log for each inspection. **(Ongoing)**
27. That a Hazardous Waste Transporter Permit shall be obtained from the Fire Department. Annual permit fee will be required. The fee criteria used for hazardous waste generators will apply. **(Ongoing)**
28. That the aisle widths between drums containing hazardous materials or hazardous waste shall not be less than 4 feet as per in the 1997 Uniform Fire Code. **(Ongoing)**

ENGINEERING/PUBLIC WORKS DEPARTMENT

(Contact: Robert Garcia 562.868.0511 x 7545)

29. That the applicant shall comply with all conditions limitations, and requirements of the approved Industrial Wastewater Discharge Permit in addition to applicable sections of the Wastewater Ordinance and Chapter 97 of the City Code as it relates to industrial waste disposal. The owner/operator shall submit an Industrial Wastewater Discharge Permit Application prior to generating, storing, treating or discharging any industrial wastewater to the sanitary sewer. **(Ongoing)**
30. The applicant maintain compliance for the Regional Water Quality Control Board's Storm water Pollution Prevention Plan permit requirements. **(Ongoing)**

PLANNING AND DEVELOPMENT DEPARTMENT

(Contact: Claudia Jimenez 562.-868.0511 x 7356)

31. That the Conditional Use Permit Case No. 610-2 -3 shall be subject to a compliance review in ~~five (5)~~ four (4) years, until ~~February 11, 2019~~ January 13, 2024, to ensure the use has been continuously maintained in strict compliance with these conditions of approval. **(Revised)**
32. That all applicable regulatory permits shall be complied with and posted at the facility. **(Ongoing)**
33. That the temporary trailers shall be subject to an office trailer permit commencing no later than January 13, 2024, with a duration not to exceed two (2) years. **(New)**
34. Upon lease extension, Olin Chlor Alkali Products shall retrofit the current warehouse building or construct an entirely new building. A work plan shall be submitted to the city no later than January 13, 2024. **(New)**
35. That a minimum of **43** parking stalls shall be provided and maintained on-site at all times. **(New)**

36. That the required landscaped areas shall be maintained in a neat, clean, orderly and healthful condition. This is meant to include proper pruning, mowing of lawns, weeding, and removal of litter, fertilizing, and replacement of plants when necessary and the regular watering of all plantings. **(Ongoing)**



Wayne M. Morrell
Director of Planning

Attachment(s)

1. Aerial Photograph
2. Correction Pictures
3. Site Plan
4. Site Pictures
5. Letter Requesting Reconsideration

Attachment 1: Aerial Photograph



Conditional Use Permit Case No. 614-3

Property: 11600 Pike Street

APN: 8002-013-013

Brian Connelly for Olin Chlor Alkali Products

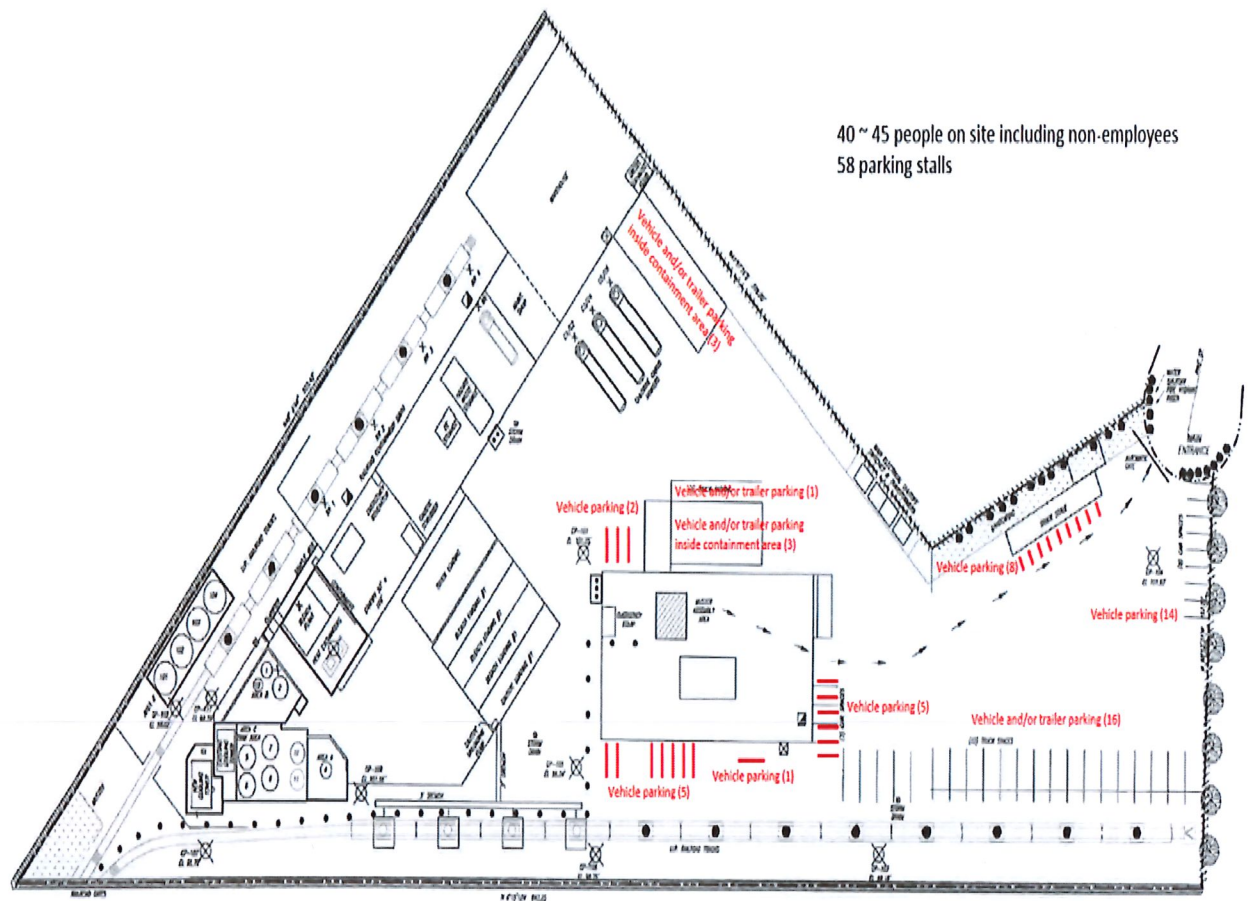
Report Submitted By: Claudia Jimenez
Planning and Development Department

Date of Report: December 31, 2019

Attachment 2: Correction Pictures

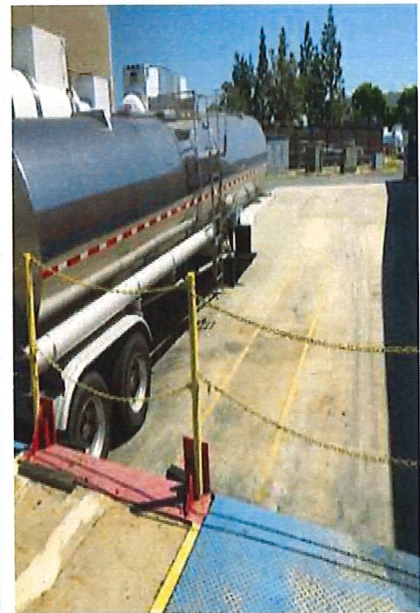
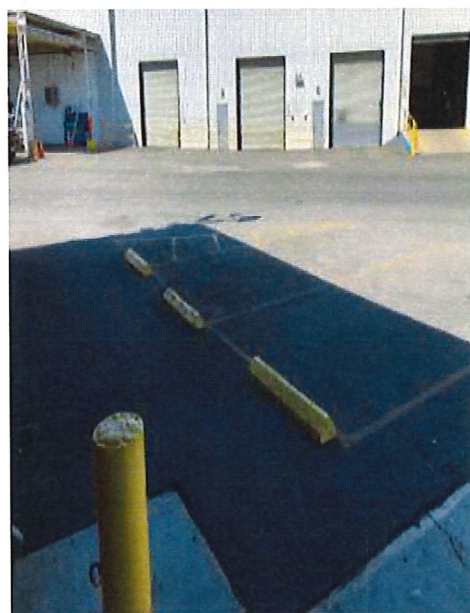
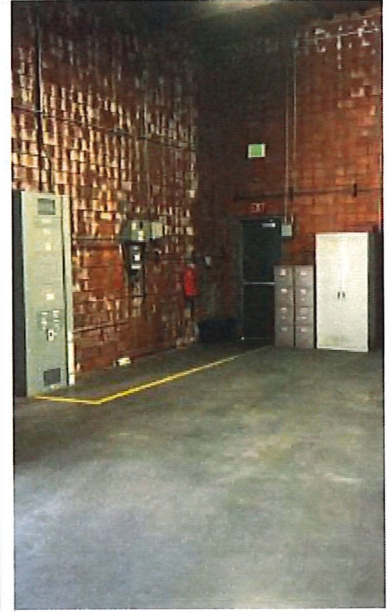
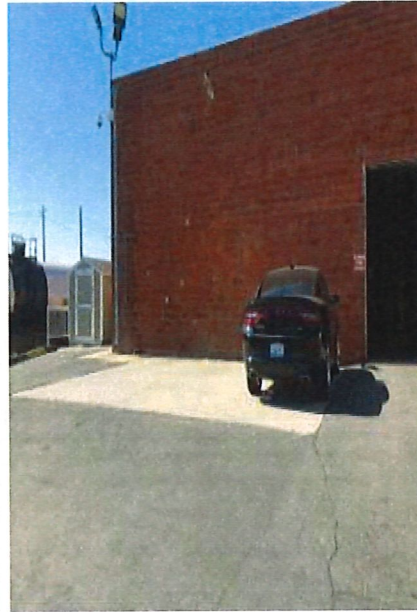
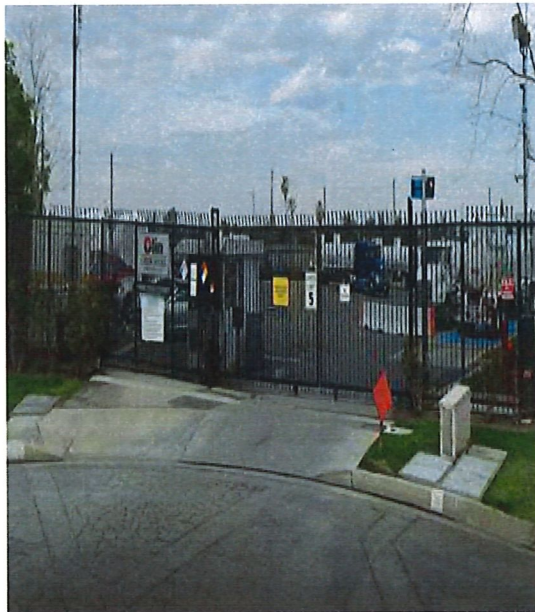


Attachment 3: Site Plan



40 ~ 45 people on site including non-employees
58 parking stalls

Attachment 4: Site Pictures



Attachment 5: Letter Requesting Reconsideration



CHLOR ALKALI
PRODUCTS

11600 Pike Street, Santa Fe Springs, CA 90670
562-692-0510 • 562-695-2441

Memo

To: City of Santa Fe Springs
From: Jason Cho

Date: 8/10/2019
Re: Conditional Use Permit 614-3 Renewal

This is a formal request for a compliance review associated with Conditional Use Permit 614-3 for Olin Chlor Alkali Products, located at 11600 Pike Street, Santa Fe Springs, CA 90670.

The Santa Fe Springs facility is a sodium hypochlorite manufacturing and chlorine repackaging facility located on 4.4 acres 15 miles from downtown Los Angeles. Sodium hypochlorite is produced at the site by combining 50% sodium hydroxide and liquid chlorine from trucks and railcars. The facility repackages liquid chlorine by transferring it from railcars to trailers.

There have been no changes to the business since 2014.

A handwritten signature in black ink that reads "Jason Cho".

Jason Cho, Plant Manager



City of Santa Fe Springs

Planning Commission Meeting

January 13, 2020

PRESENTATION

A Presentation of 2019 Planning and Development Department Accomplishments

RECOMMENDATION

- The Chairperson may wish to call upon, Cuong Nguyen, Senior Planner, to assist with this presentation.

BACKGROUND

The Planning and Development Department staff has prepared a short presentation to highlight the major accomplishments during the 2019 calendar year. The presentation provides a recap of the development projects that were approved in 2019, as well as status updates on other projects. Noteworthy Conditional Use Permits and Zone Text Amendments were also highlighted. Last but not least, the results of Advance Planning efforts, Building Department activities, and Economic Development achievements are captured in the remaining slides.


Wayne M. Morrell
Director of Planning